

# CTU Immigrants Center

REHABILITATION TO AN EXISTING MIXED USE BUILDING

9805 S Ewing Ave  
Chicago, IL 60617

## Building Information

**Description**  
**Construction Type :** IIIB  
**Occupancy:** E - Business  
 A2 - Multiple Dwelling  
**Number of Dwelling Units :** 2 (Existing)  
**No. Stories :** 2 + Basement (Existing)  
**Building Height :** 24'-10" (Existing)  
**Gross Square Footage :** 4,490 SF\*  
**Number of Offsite Parking :** 2  
 \*Not including basement

## Project Team

**Owner / Developer**  
**Centro de Trabajadores Unidos**  
 3200 E 91st Street  
 Chicago, IL 60617

**Architect**  
**Landon Bone Baker Architects**  
 734 N Milwaukee Ave  
 Chicago, IL 60642

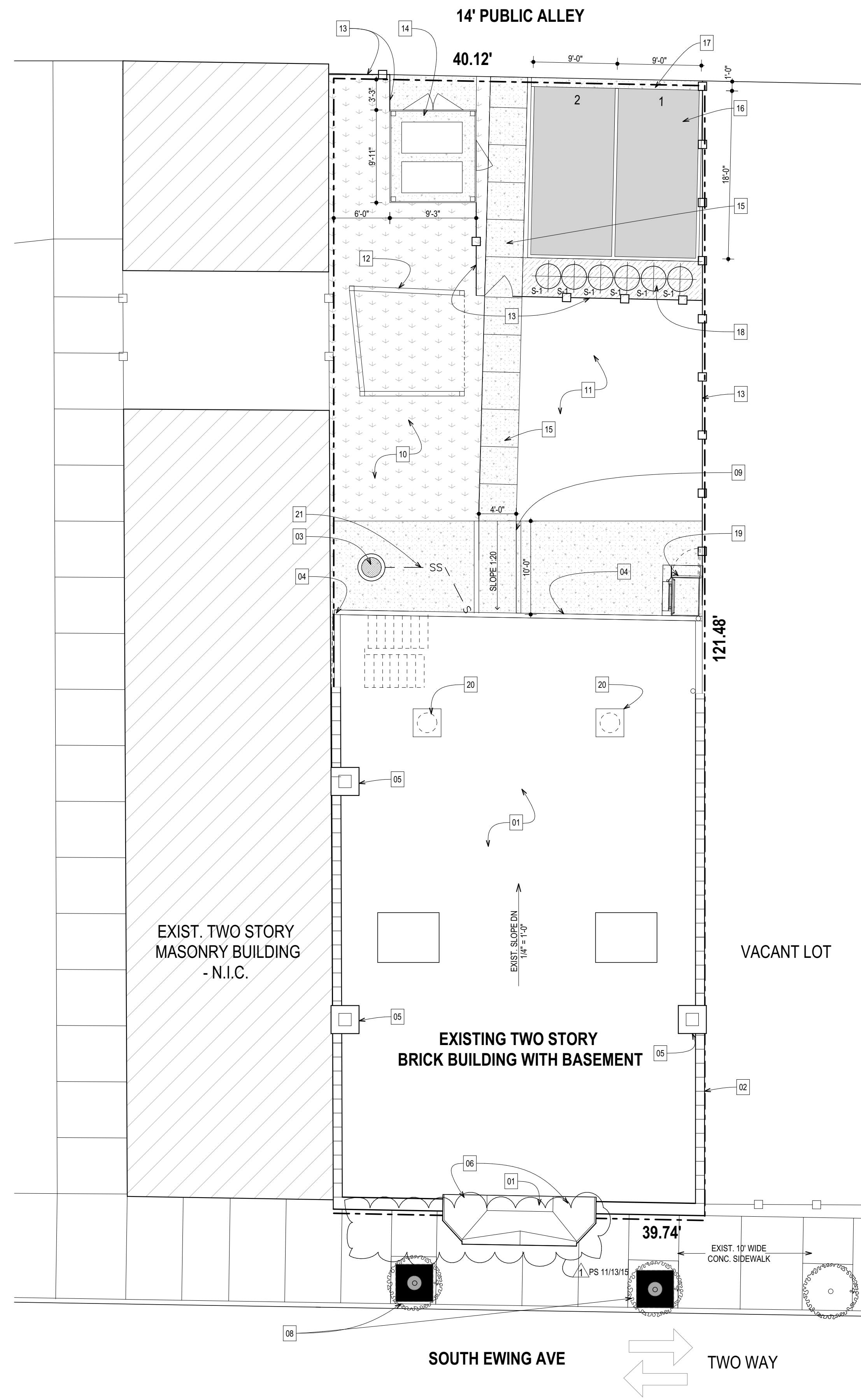
**Contractor**  
**Revere Properties**  
 7420 S Woodlawn Ave  
 Chicago IL 60619

**Structural Engineer**  
**Carsello Engineering, Inc.**  
 2656 Wild Timothy Road  
 Naperville, IL 60564

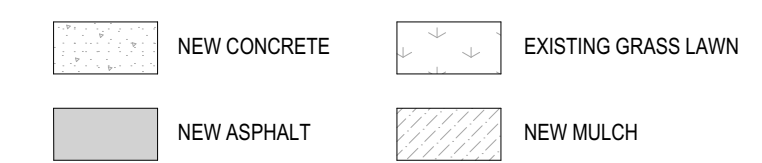
**MEP Engineer**  
**RTM Associates**  
 333 W. Wacker Drive, 6th Floor  
 Chicago, IL 60606

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## SYMBOLS LIST



## TYP ROOF & SITE PLAN NOTES

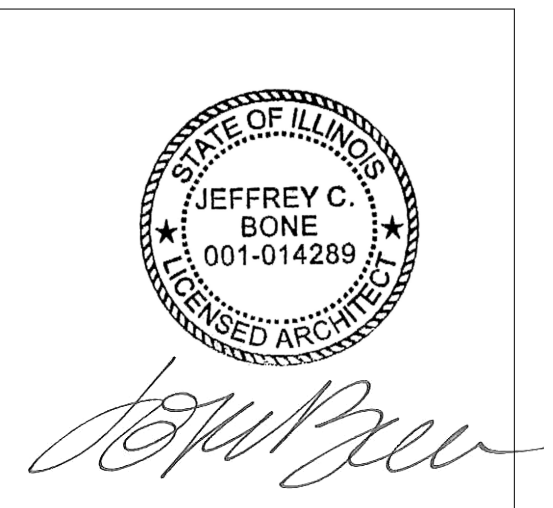
- THE FOLLOWING ARE MINIMUM STANDARDS. MORE STRINGENT SPECIFICATIONS AND DRAWING APPLY.
- 1) PROTECT SITE AND ADJACENT PROPERTIES FROM DAMAGE AND USE PROTECTIVE BARRIERS AT LOCATION S INDICATED AND AT EXISTING TREES, PLANTINGS, ROOTS, GRASSES, PAVING, AND CURBS TO REMAIN. TREE PROTECTION TO BE AT LEAST AS LARGE AS THE DIAMETER OF THE CANOPY.
  - 2) PROVIDE SMOOTH VERTICAL CURBS THROUGH HIGH AND LOW POINTS INDICATED BY SPOT ELEVATIONS. IF INCLUDED PROVIDE UNIFORM SLOPES BETWEEN NEW AND EXISTING GRADES. AVOID RIDGES AND DEPRESSIONS. ALLOW FOR TOPSOIL PLACEMENT AT LANDSCAPED AREAS.
  - 3) CONCRETE SIDEWALK CONTROL JOINTS TO BE LOCATED AT A MAX. 5'-0" O.C.. EXPANSION JOINTS TO BE LOCATED AT MIN. 40'-0" O.C. AND AT THE BACK OF CURBS, CHANGE IN MATERIAL, CHANGE OF DIRECTION, OTHER WALK/UTILITY APPURTENANCE, OR FACE OF STRUCTURE.
  - 4) PATIOS, PORCH SLABS, WALKS AND DRIVES TO BE SLOPED MIN. 1/4" PER FOOT AWAY FROM BUILDINGS TO EDGE OF SURFACE OR 10", WHICHEVER IS LESS.
  - 5) FINAL GRADE TO BE SLOPED A MIN. 1/2" PER FOOT AWAY FROM BUILDINGS FOR 10' AND BACK-FILL TAMPED TO PREVENT SETTLING.
  - 6) ALL FLATWORK TO BE SLOPED OR CROWNED TO PROVIDE POSITIVE DRAINAGE.
  - 7) THE SLOPE OF CURBED RAMP SHALL BE MAX. 1:12 AND CROSS SLOPE TO BE MAX. 1:48 AND THE SLOPE OF ADJOINING ROADS AND GUTTERS SHALL BE MAX. 1:20.
  - 8) THE WALK WAY RUNNING SLOPE OF ACCESSIBLE ROUTES SHALL NOT BE GREATER THAN 1:20. THE CROSS SLOPE SHALL NOT BE GREATER THAN 1:48.
  - 9) ON ACCESSIBLE ROUTES, A 1/4" CHANGE IN LEVEL IS ACCEPTABLE. 1/4"-1/2" SHALL BE BEVELED W/ SLOPE LESS THAN 1:2. 1/2"-3" SHALL HAVE A MAX. 1:8 RATIO RAMP. 3'-6" SHALL HAVE A MAX. 1:10 RATIO RAMP. AND 6' OR MORE SHALL HAVE A MAX. 1:12 RATIO RAMP.
  - 10) REFER TO ASSEMBLY SHEETS FOR CONSTRUCTION AND REQUIRED FIRE RATINGS.
  - 11) ALL EXTERIOR WOOD SHALL BE PRESSURE TREATED AND KILN-DRIED.
  - 12) PROVIDE POSITIVE ROOF DRAINAGE. FOLLOW ALL MANUFACTURER ROOFING INSTALLATION REQUIREMENTS. SEE DETAILS FOR ADDITIONAL INFORMATION.
  - 13) PARAPETS SHALL HAVE A FIRE RESISTANCE NOT LESS THAN THAT REQUIRED FOR THE WALLS. PROVIDE SUBSTRATE TO SUPPORT ROOF AS REQUIRED BY MANUFACTURER. SEE DETAILS.

## ROOF & SITE KEY NOTES

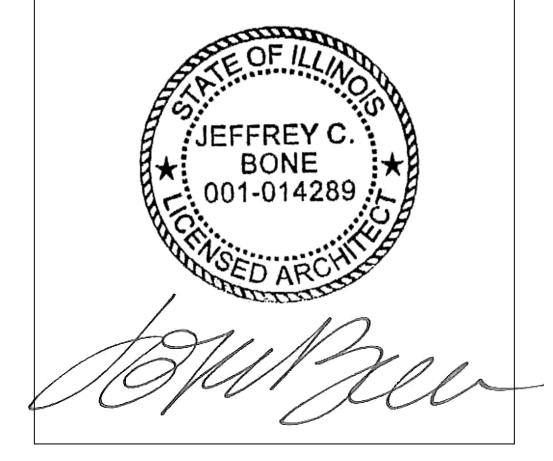
- 01] NEW MODIFIED BITUMIN MEMBRANE ROOFING.
- 02] EXISTING CLAY COPING TILES TO BE REMOVED, AND REINSTALLED AS NEEDED FOR NEW ROOFING.
- 03] PROVIDE NEW CAST IRON STORM CATCH BASIN LID, PER CITY OF CHICAGO STANDARDS
- 04] PROVIDE NEW 6" GALVANIZED STEEL GUTTER & DOWNSPOUT, MIN. 28 G.A.
- 05] TUCKPOINT EXISTING CHIMNEY AS NEEDED.
- 06] NEW PREFINISHED ALUMINUM METAL COPING, MIN. 0.05" THICK.
- 07] NOT USED
- 08] NEW METAL TREE GRATES AT EXISTING PARKWAY TREES.
- 09] NEW 1:20 SLOPED CONCRETE WALKWAY.
- 10] EXISTING GRASS LAWN TO REMAIN, TO BE PROTECTED DURING CONSTRUCTION AND REPAIRED IF DAMAGED DURING CONSTRUCTION.
- 11] EXISTING CONCRETE PATIO TO REMAIN.
- 12] EXISTING WOOD TRELLIS TO BE SALVAGED. ROOF STRUCTURE TO REMAIN, NEW WOOD BEAMS & POSTS TO BE INSTALLED FOR ADDED SUPPORT.
- 13] PROVIDE NEW 5'-10" HIGH ORNAMENTAL IRON FENCE & LOCKABLE GATE TO BE PAINTED WITH HIGH PERFORMING EXTERIOR GRADE PAINT FOR FERROUS MATERIALS, PROVIDE PITTSBURGH PAINTS 6-212 SPEED HIDE INTERIOR/EXTERIOR METAL PRIMER OR EQUAL AND PITTSBURGH PAINTS 18-45 SUN-PROOF EXTERIOR SEMI-GLOSS LATEX 100% ACRYLIC PAINT FOR FINISH, OR EQUAL.
- 14] NEW 5'-10" HIGH WOOD TRASH ENCLOSURE WITH STEEL POST SUPPORTS ON A NEW 4" THICK CONCRETE PAD
- 15] NEW 4'-0" WIDE CONCRETE WALK.
- 16] NEW ASPHALT PAVEMENT PARKING PAD AND STRIPING.
- 17] NEW 10" CONCRETE APRON.
- 18] NEW LANDSCAPED AREA, WITH NEW SHRUBS.
- 19] NEW EXTERIOR WHEELCHAIR LIFT, BRUNO VPL 32-108 OR SIMILAR, PROVIDE NEW 4" CONCRETE PAD FOR LIFT INSTALLATION. REFER TO MANUFACTURER'S INSTALLATION INSTRUCTIONS FOR ADDITIONAL INFO.
- 20] ROOF VENT PROVIDING MIN. ONE S.F. OF NET FREE VENT AREA PER 300 SF ROOF AREA, TYP.
- 21] CLEAN OUT EXISTING STORM CATCH BASIN, REPAIR STORM SEWER PIPES AS NEEDED

PLANTING LIST					
TAG	BOTANICAL NAME	COMMON NAME	QTY	SIZE	COMMENTS
S-1	BUXUS MICROPHYLLA 'GREEN MOUND'	GREEN MOUND BOXWOOD	6	5 GAL.	CONTAINER

- NOTES:  
 1) INSTALL ORGANIC DOUBLE SHREDED HARDWOOD BARK MULCH TO TREE AND SHRUB BEDS AT A DEPTH OF 3".  
 2) CONTRACTOR SHALL REPAIR AND SOD IN KIND ALL TURF AREAS DAMAGED AS A RESULT OF PROJECT CONSTRUCTION.



I CERTIFY THAT I AM A REGISTERED ENERGY PROFESSIONAL (REP). I ALSO CERTIFY THAT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE AND BELIEF THAT THE ATTACHED PLANS FOR CTU Immigrants Center, ADDRESS: 9805 S Ewing Ave FULLY COMPLY WITH THE REQUIREMENTS OF CHAPTER 18-13, ENERGY CONSERVATION, OF THE MUNICIPAL CODE OF CHICAGO, AS OF APRIL 22<sup>ND</sup>, 2008.



I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED UNDER MY SUPERVISION AND THAT THEY COMPLY TO THE BEST OF MY KNOWLEDGE, WITH ALL THE BUILDING CODES AND ORDINANCES OF THE CITY OF CHICAGO, IL.

06/03/2016  
 08/20/2016  
 11/13/2016

ISSUED FOR PRICING  
 ISSUED FOR PERMIT  
 ISSUED FOR PERMIT REVISION

**LANDON BONE BAKER ARCHITECTS**  
 734 N Milwaukee Avenue Chicago IL 60642  
 p 312-988-9100 f 312-829-3302  
 www.landonbonebaker.com  
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**CTU Immigrants Center**  
 9805 S Ewing Ave  
 Chicago IL 60617

**1505**

**Cover Sheet, Drawing Index, Site Plan**

**A-001**

1 Site / Roof Plan  
 SCALE: 1/8" = 1'-0"

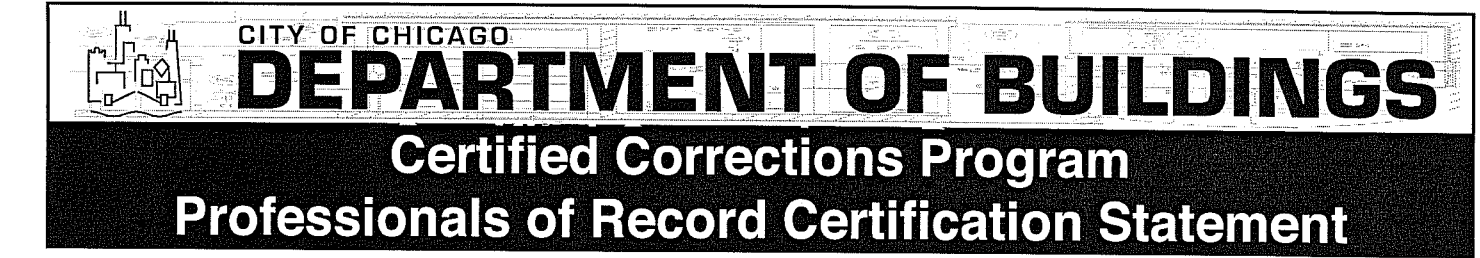
ProjectDox  
Current Project - Project Markups Listing

11/25/2015

100611935 9805 S EWING AVE

Table with 5 columns: Markup Name, Markup Text, Markup Date, File Name, Action. Contains multiple rows of project markups for various systems like ventilation, kitchen, stairs, and structural.

Table with 5 columns: Markup Name, Markup Text, Markup Date, File Name, Action. Contains multiple rows of project markups for plumbing, fire prevention, and electrical systems.



All licensed professionals that stamp the plans and make the Department of Buildings' requested code corrections must sign and seal this Certification.

Application Number: 100611935  
Project Address: 9805 S. EWING AVE.  
Chicago, IL 60617

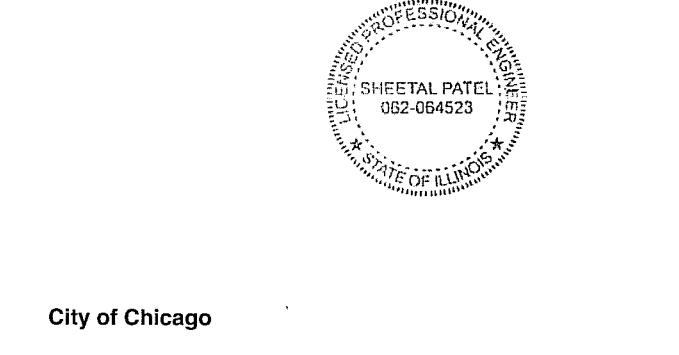
I hereby certify that I am the Professional of Record for this Project and to the best of my knowledge, I have personally made all requested code corrections to the plans sets as reflected on the attached correction sheet.

ARCHITECT: [Signature]  
Signature: Jeffrey Bone  
Printed Name: Jeffrey Bone  
Address: 734 N. Milwaukee Ave, Chicago, IL 60642  
Dated: November 25, 2015

STRUCTURAL ENGINEER: [Signature]  
Signature: Victor Carsello  
Printed Name: Victor Carsello  
Address: 2656 Wild Timothy Rd Naperville IL 60564  
Dated: November 25, 2015

HVAC CONSULTANT: (PROFESSIONAL ENGINEER)  
Signature: [Signature]  
Printed Name: Sheetal Patel  
Address: 3 Executive Court, Unit 4, 60010  
Dated: November 25, 2015

PLUMBING CONSULTANT: (PROFESSIONAL ENGINEER)  
Signature: [Signature]  
Printed Name: Sheetal Patel  
Address: 3 Executive Court, Unit 4, 60010  
Dated: November 25, 2015



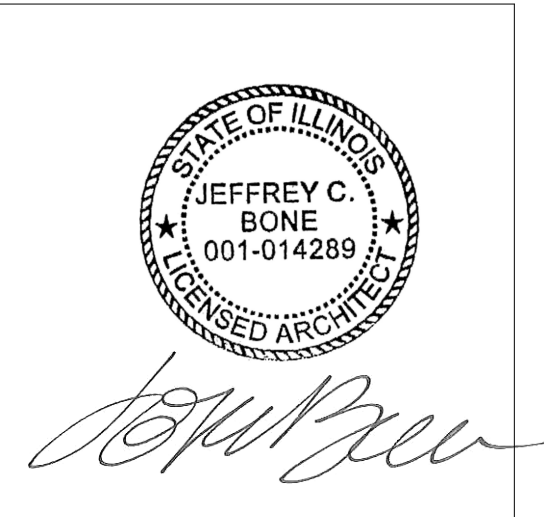
City of Chicago

186448-10-1107

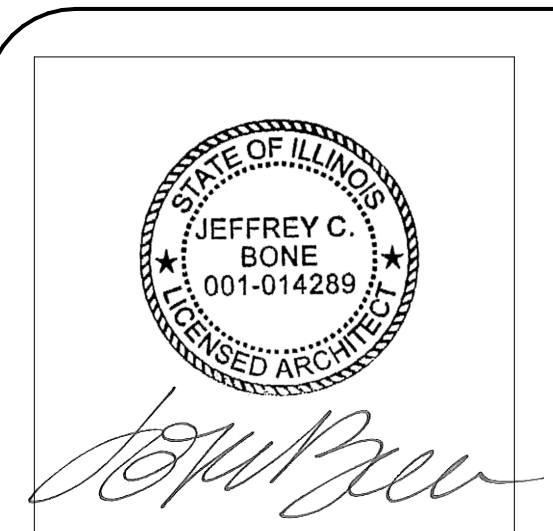
Application Number: 100611935  
Project Address:  
9805 S Ewing Ave, Chicago, IL, 60617

I hereby certify that: (1) I am the Professional of Record for this Project; and (2) to the best of my knowledge, I have made all requested code corrections to the plan set as reflected on the attached correction sheets.

Signature: [Signature]  
Printed: Jeffrey Bone  
Address: 734 N Milwaukee Ave, Chicago, IL 60642  
11/25/2015



I CERTIFY THAT I AM A REGISTERED ENERGY PROFESSIONAL (REP). I ALSO CERTIFY THAT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE AND BELIEF THAT THE ATTACHED PLANS FOR CTU IMMIGRANTS CENTER, ADDRESS: 9805 S EWING AVE FULLY COMPLY WITH THE REQUIREMENTS OF CHAPTER 18-13, ENERGY CONSERVATION, OF THE MUNICIPAL CODE OF CHICAGO, AS OF APRIL 22<sup>ND</sup>, 2008.



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06/30/2015  
08/20/2015  
11/13/2015

ISSUED FOR PERMIT  
ISSUED FOR PERMIT  
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1505

Certified Corrections

A-001A

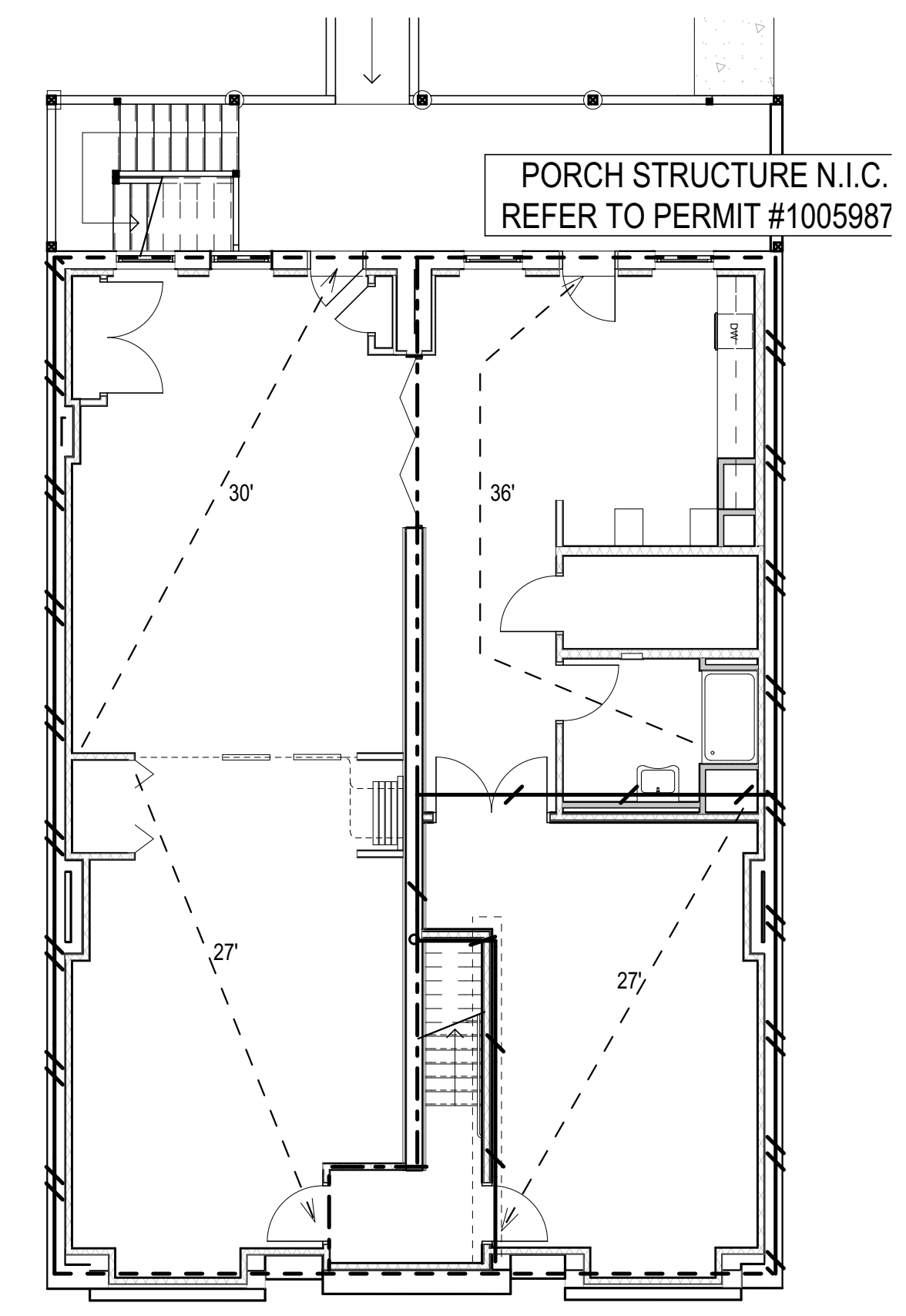
Table with columns: Floor, Net Area (note 1), Occupancy Use -- Floor Area per Person (3(13-56-300)), Occupancy Net Area / Floor Area per Person, Each Req. Stair Exit Width (40 persons per unit of exit width) (note 3 & 5), Each Actual Stair Exit Width, Req. Corridor Exit Width (60 persons per unit of exit width) (note 5), Actual Corridor Exit Width. Includes rows for 1st Floor, 2nd Floor, and Basement.

Summary table with columns: Grade Floor Exits, Net Area / Floor Area per Person, Total Outside Exit Door Width (60 persons per unit of exit width), Total Actual Outside Exit Door Width. Includes rows for 1st Floor (Grade), Basement, and Grade Floor Exits.

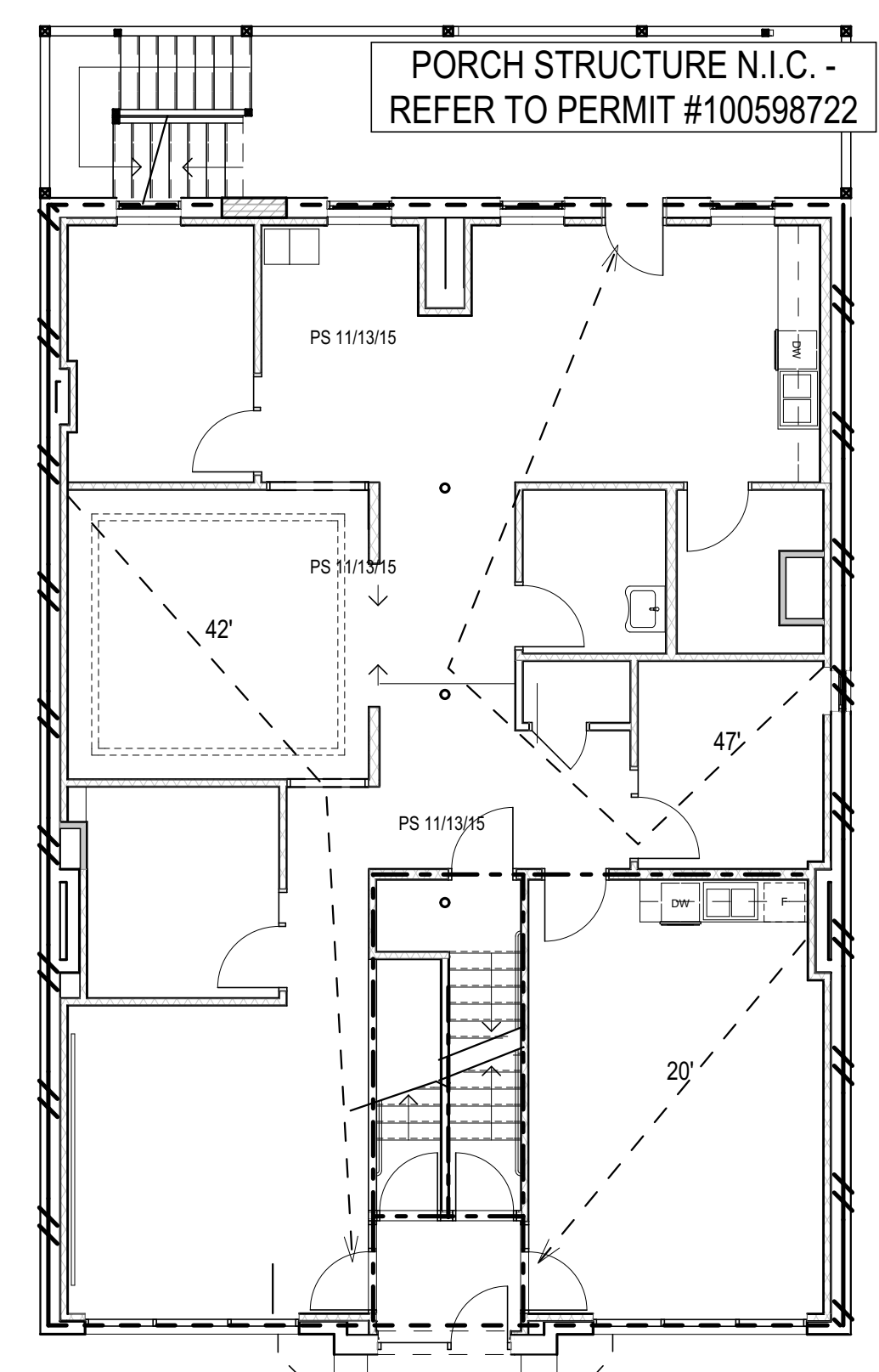
PS 11/13/15

Code Matrix table with columns: Issue, Chapter / Article, Ordinance Requirement, Actual, Location/Sheet No., Notes. Lists various building requirements such as zoning, occupancy, height, and fire safety.

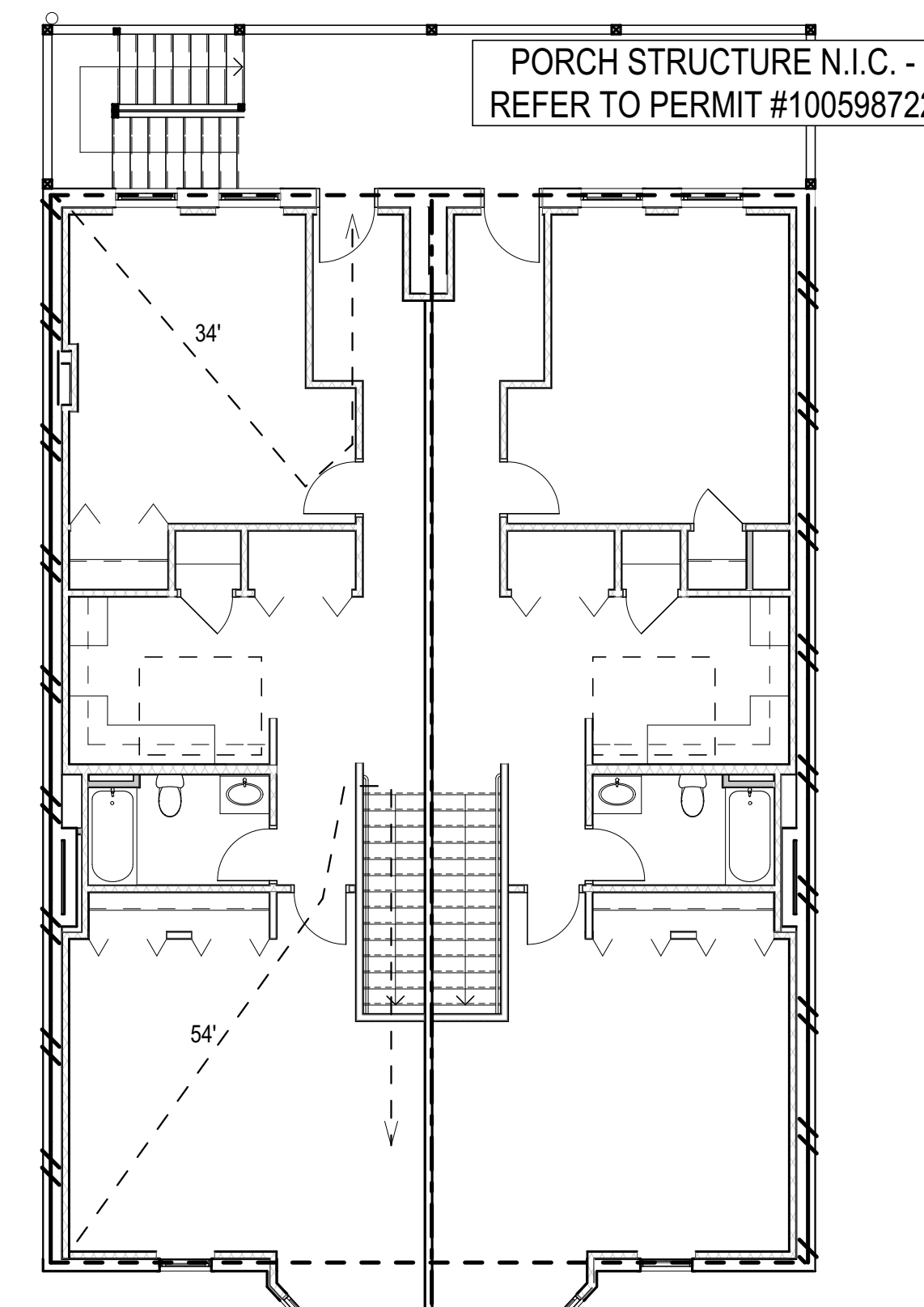
EXIT REQUIREMENTS table with columns: min number of exits from a floor, space or room, 1 exit, 2 exits, 1 exit, 2 exits. Lists specific exit requirements for different areas like offices, storage, and stairs.



1 Basement Egress Diagram SCALE: 1/8" = 1'-0"

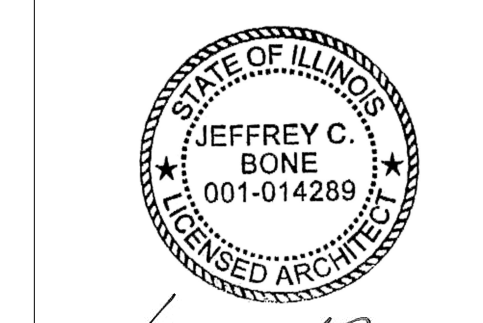


2 First Floor Egress Diagram SCALE: 1/8" = 1'-0"



3 Second Floor Egress Diagram SCALE: 1/8" = 1'-0"

- INTERIOR STAIR/DEMISING WALL - MIN. 1 HOUR RATED
- - - EXTERIOR NON-BEARING WALL - MIN. 1 HOUR RATED
- - - EXT. BEARING WALL - MIN. 2 HOUR RATED
- - - INT. STORAGE WALL - MIN. 2 HOUR RATED



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ISSUED FOR PERMITS 08/20/2015 11/13/2015

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CTU Immigrants Center 9805 S Ewing Ave Chicago IL 60617 1505

Code Matrix, Egress Diagrams

A-002

# ARCHITECTURAL ABBREVIATIONS

**A**  
 ABV ABOVE  
 AC AIR CONDITIONING  
 AC AIR CONDITIONING  
 AD AREA DRAIN  
 ADDL ADDITIONAL  
 ADH ADHESIVE  
 ADJ ADJACENT  
 ADJ ADJUSTABLE  
 ADJUST ADJUSTABLE  
 AFF ABOVE FINISH FLOOR  
 AL ALUMINUM  
 ALT ALTERNATE  
 ALUM ALUMINUM  
 ANCH ANCHOR  
 ANOD ANODIZED  
 APPROX APPROXIMATELY  
 ARCH ARCHITECT, ARCHITECTURAL  
 AVE AVERAGE

**B**  
 B BASE CABINET  
 BATH BATH, BATHROOM  
 BD BOARD  
 BED BED, BEDROOM  
 BIT BITUMINOUS  
 BLDG BUILDING  
 BOT BOTTOM  
 BRDRM BEDROOM  
 BRKNG BREAKING  
 BSMT BASEMENT  
 BTWN BETWEEN  
 BUR BUILT UP ROOFING

**C**  
 CAB CABINET  
 CATCH CATCH BASIN  
 CIP CAST IN PLACE  
 CJ CONTROL JOINT  
 CL CENTER LINE  
 CLG CEILING  
 CLR CLOSE  
 CLO CLEAR  
 CONCR CONCRETE MASONRY UNIT  
 COL COLUMN  
 CONC CONCRETE  
 CONF CONFERENCE  
 CONST CONSTRUCTION  
 CONT CONTINUOUS  
 CORR CORRUGATED  
 CPT CARPET  
 CT CERAMIC TILE  
 CU CUBIC  
 CW COLD WATER

**D**  
 D DEPTH  
 DB DRAWER BASE  
 DBL DOUBLE  
 DEG DEGREE  
 DEMO DEMOLISH  
 DEPT DEPARTMENT  
 DET DETAIL  
 DH DOUBLE HUNG  
 DIA DIAMETER  
 DAG DIAGONAL  
 DM DIMENSION  
 DIN DINING  
 DL DEAD LOAD  
 DN DOWN  
 DS DOWNSPOUT  
 DWGS DRAWING

**E**  
 E EAST  
 E ELECTRICAL  
 E EXISTING  
 EA EXHAUST  
 EIFS EXTERIOR INSULATION FINISH SYSTEM  
 EJ EXPANSION JOINT  
 ELEV ELEVATION  
 ELAST ELASTOMERIC  
 ELEC ELECTRIC / ELECTRICAL  
 ELEV ELEVATOR  
 EMER EMERGENCY  
 ENCL ENCLOSURE  
 EPDM ETHYLENE PROPYLENE DIENE MONOMER  
 EQ EQUAL  
 EQP EQUIPMENT  
 EQUIP EQUIPMENT  
 EQUIV EQUIVALENT  
 EST ESTIMATE(D)  
 EXH EXHAUST  
 EXIST EXISTING  
 EXP EXPANSION  
 EXT EXTERIOR

**F**  
 FCO FLOOR CLEAN OUT  
 FD FLOOR DRAIN  
 FDN FOUNDATION  
 FF FINISH FLOOR  
 FF FINISH FACE  
 FFE FINISH FLOOR ELEVATION  
 FIN FINISH, FINISHED  
 FLEX FLEXIBLE  
 FLUOR FLUORESCENT  
 FOUND FOUNDATION  
 FT FOOT, FEET  
 FTG FOOTING  
 FUR FURRING, FURRED  
 FURN FURNITURE  
 FUT FUTURE  
 FXTR FIXTURE

**G**  
 G GAS  
 GA GAUGE  
 GALV GALVANIZED  
 GC GENERAL CONTRACTOR  
 GLU LAM GLU LAMINATED  
 GLZ GLAZING  
 GSKT GASKET  
 GYP GYPSUM  
 GWB GYPSUM WALL BOARD

**H**  
 H HEIGHT  
 HB HOSE BIB  
 HC HOLLOW CORE  
 HCWD HOLLOW CORE WOOD DOOR  
 HD HEAVY DUTY  
 HDR HEADER  
 HDW HARDWARE  
 HDWD HARDWOOD  
 HGT HEIGHT  
 HM HOLLOW METAL  
 HORZ HORIZONTAL, HORIZONTALLY  
 HPT HIGH POINT  
 HR HOUR  
 HIAC HEATING VENTILATION AIR CONDITIONING  
 HW HOT WATER

**I**  
 ID INTERIOR DIAMETER  
 IC IMPACT INSULATION CLASS  
 IN INCH  
 INC INCLUDE, INCLUDING  
 INCAN INCANDESCENT  
 INFO INFORMATION  
 INS INSULATION, INSULATED  
 INSUL INSULATION, INSULATED  
 INT INTERIOR  
 INV INVERT

**J**  
 JAN JANITOR  
 JT JOINT

**K**  
 KIT KITCHEN

**L**  
 L LENGTH, LONG  
 LAB LABORATORY  
 LAM LAMINATE  
 LAV LAVATORY  
 LB POUND  
 LED LIGHT EMITTING DIODE  
 LF LINEAR  
 LG LENGTH  
 LG LARGE  
 LIN LINEAR  
 LIN LINEN  
 LIV LIVING  
 LL LIVE LOAD  
 LPT LOW POINT  
 LT LIGHT  
 LTG LIGHT, LIGHTING  
 LTL LINTEL  
 LVR LOUVER

**M**  
 M MECHANICAL  
 M MASTER  
 MACH MACHINE  
 MANUF MANUFACTURER  
 MAS MASONRY  
 MATL MATERIAL  
 MATL MATERIAL  
 MAX MAXIMUM  
 MBR MASTER BEDROOM  
 MC MEDICINE CABINET  
 MDO MEDIUM DENSITY OVERLAY  
 MECH MECHANICAL  
 MED MEDICINE  
 MED MEDIUM  
 MEMB MEMBRANE  
 MFR MANUFACTURER  
 MH MANHOLE  
 MN MINIMUM  
 MSC MISCELLANEOUS  
 MO MASONRY OPENING  
 MOD MODULE, MODULAR  
 MIN MINIMUM  
 MISC MISCELLANEOUS  
 MR MIRROR  
 MISC MISCELLANEOUS  
 MT MOUNT  
 MTD MOUNTED  
 MTS MEETING  
 MULL MULLION  
 MWK MILLWORK

**N**  
 N NEW  
 N NORTH  
 NA NOT APPLICABLE  
 NAT NATURAL  
 NIC NOT IN CONTRACT  
 NO NUMBER  
 NOM NOMINAL  
 NRC NOISE REDUCTION COEFFICIENT  
 NTS NOT TO SCALE

**O**  
 OA OVERALL  
 OC ON CENTER  
 OD OUTSIDE DIAMETER  
 OPG OPENING  
 OPP OPPOSITE  
 OSB ORIENTED STRAND BOARD  
 OTHD OVERHEAD

**P**  
 PAN PANTRY  
 PART PARTIAL  
 PERF PERFORATED  
 PERM PERIMETER  
 PERM PERMANENT  
 PERP PERPENDICULAR  
 PKG PARKING  
 PL PLASTIC LAMINATE  
 PLATE PLATE  
 PL PROPERTY LINE  
 PLAM PLASTIC LAMINATE  
 PLAS PLASTER  
 PLMB PLUMBING  
 PLF POUNDS PER LINEAR FOOT  
 PLY PLYWOOD  
 PLYWD PLYWOOD  
 PNL PANEL  
 PREP PREPARATION  
 PREFAB PREFABRICATION  
 PRKG PARKING  
 PROJ PROJECT  
 PROP PROPERTY  
 PSF POUNDS PER SQUARE FOOT  
 PSI POUNDS PER SQUARE INCH  
 PT PRESSURE TREATED  
 PT POINT  
 PTD PAINTED  
 PVC POLYVINYL CHLORIDE  
 PVG PAVING  
 PVMT PAVEMENT  
 PWR POWER

**Q**  
 Q QUARTER  
 QTY QUANTITY

**R**  
 R RISER  
 RAD RADIUS  
 RC RESILIENT CHANNEL  
 RC REFLECTED CEILING PLAN  
 RCP RECEPTACLE  
 RD ROOF DRAIN  
 REHAB REHABILITATION  
 REQ REQUIRED  
 REQS REQUIREMENTS  
 RECT RECTANGLE, RECTANGULAR  
 REF REFERENCE  
 REIN REINFORCED  
 REM REMOVABLE  
 RET RETURN  
 REV REVISION  
 RFG ROOFING  
 RM ROOM  
 RO ROUGH OPENING  
 ROW RIGHT OF WAY

**S**  
 S SOUTH  
 SB SPLASH BLOCK  
 SC SOLID CORE  
 SCHED SCHEDULE  
 SCWD SOLID CORE WOOD DOOR  
 SD STORM DRAIN  
 SECTION SECTION  
 SEG SEGMENT  
 SEP SEPARATE, SEPARATION  
 SEP SQUARE FOOT, SQUARE FEET  
 SG SAFETY GLAZING  
 SHT SHEET  
 SIM SIMILAR  
 SK SINK  
 SM SMALL  
 SPEC SPECIFICATION(S)  
 SPKLR SPRINKLER  
 SQ SQUARE  
 SS SANITARY SEWER  
 SS STAINLESS STEEL  
 SS STAINLESS STEEL  
 ST STREET  
 STC SOUND TRANSMISSION CLASS  
 STN SOUND TRANSMISSION COEFFICIENT  
 STD STANDARD  
 STN STAINED  
 STL STEEL  
 STOR STORAGE  
 STRUCT STRUCTURAL  
 SUSP SUSPENDED  
 SYMM SYMMETRICAL

**T**  
 T TREAD  
 T&B TOP AND BOTTOM  
 TAG TONGUE AND GROOVE  
 TC TOP OF CURB  
 TEL TELEPHONE  
 TEMP TEMPERED  
 TEMP TEMPORARY  
 THK THICK, THICKNESS  
 THR THRESHOLD  
 THRESH THRESHOLD  
 THRU THROUGH  
 TMPO TEMPERED  
 TO TOP OF  
 TOS TOP OF STEEL  
 TOT TOTAL  
 TV TELEVISION  
 TYP TYPICAL

**U**  
 UC UNDER COUNTER  
 UL UNDERWRITERS  
 UNFIN UNFINISHED  
 UNO UNLESS NOTED OTHERWISE

**V**  
 V VARIES  
 VB VAPOR BARRIER  
 VCT VINYL COMPOSITION TILE  
 VERT VERTICAL, VERTICALLY  
 VEST VESTIBULE  
 VTR VENT THROUGH ROOF  
 VOC VOLATILE ORGANIC COMPOUNDS

**W**  
 W WEST  
 W WIDE  
 W WITH  
 W/O WITHOUT  
 WC WATER CLOSET  
 WD WOOD  
 WD/W WINDOW  
 WM WIRE MESH  
 WR WATER RESISTANT  
 NCM NOMINAL  
 WT WEIGHT  
 WW WELDED WIRE FABRIC  
 WWM WELDED WIRE MESH

updated 07.15.2014

# CHICAGO ENERGY CODE REQUIREMENTS

THE FOLLOWING ARE MINIMUM STANDARDS. MORE STRINGENT SPECIFICATIONS AND DRAWINGS WOULD APPLY:

## ROOF REFLECTANCE

LOW SLOPED ROOFS (2:12 OR LESS) SHALL HAVE AN INITIAL SOLAR REFLECTANCE GREATER THAN OR EQUAL TO 0.72 AND SHALL MAINTAIN A REFLECTANCE GREATER THAN OR EQUAL TO 0.50 FOR 3 YEARS AFTER INSTALLATION AS DETERMINED BY THE COOL ROOF RATING COUNCIL OR ENERGY STAR. WHERE MORE THAN 50% OF THE TOTAL GROSS AREA OF THE LOW-SLOPED ROOF IS COVERED WITH VEGETATION ASSOCIATED WITH A GREEN ROOF AS DEFINED BY THE USEPA, THE REMAINDER OF THE ROOF SHALL HAVE A REFLECTANCE VALUE OF A MINIMUM 0.30.

MEDIUM SLOPED ROOFS (GREATER THAN 2:12 AND LESS THAN OR EQUAL TO 5:12) SHALL HAVE A SOLAR REFLECTANCE GREATER THAN OR EQUAL TO 0.15 INITIALLY AND FOR 3 YEARS AFTER INSTALLATION.

## MATERIALS, SYSTEMS & EQUIPMENT IDENTIFICATION

MATERIALS, EQUIPMENT AND SYSTEMS SHALL BE IDENTIFIED AND INSTALLED IN A MANNER THAT WILL ALLOW A DETERMINATION OF THEIR COMPLIANCE WITH THE APPLICABLE PROVISIONS THAT FOLLOW.

ALL INSULATION MATERIALS CAULKING AND WEATHER-STRIPPING, FENESTRATION ASSEMBLIES, MECHANICAL EQUIPMENT AND SYSTEMS COMPONENTS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS. WHERE MANUFACTURER'S RECOMMENDATIONS CONFLICT WITH ANY PROVISIONS, THE PROVISIONS OF THE FOLLOWING SHALL APPLY: ALL EQUIPMENT SHALL BE SUPPLIED WITH A MAINTENANCE LABEL. SUCH LABEL SHALL INCLUDE THE TITLE OR PUBLICATION NUMBER, THE OPERATION AND MAINTENANCE MANUAL FOR THAT PARTICULAR MODEL AND TYPE OF PRODUCT. MAINTENANCE INSTRUCTIONS SHALL BE FURNISHED FOR EQUIPMENT THAT REQUIRES PREVENTIVE MAINTENANCE FOR EFFICIENT OPERATION. INSTALL INSULATION AT ROOF/CEILING, FLOOR, WALL, CAVITY AND DUCT DISTRIBUTION SYSTEMS SO THAT THE MANUFACTURER'S R-VALUE IDENTIFICATION MARK IS VISIBLE TO INSPECTION. EXPOSED AREAS OF INSULATION APPLIED TO THE EXTERIOR OF FOUNDATION WALLS AND AROUND THE PERIMETER OF SLAB-ON-GRADE FLOORS SHALL HAVE A RIGID, OPAQUE, AND WEATHER-RESISTANT PROTECTIVE COVERING TO PREVENT THE DEGRADATION OF THE INSULATION'S THERMAL PERFORMANCE. THE PROTECTIVE COVERING SHALL COVER THE EXPOSED AREA OF THE EXTERIOR INSULATION AND EXTEND A MINIMUM OF 6 INCHES BELOW GRADE.

BUILDING ENVELOPE INSULATION: THE THERMAL RESISTANCE "R" IDENTIFICATION MARK SHALL BE APPLIED BY THE MANUFACTURER TO EACH PIECE OF BUILDING ENVELOPE INSULATION 12 INCHES OR GREATER IN WIDTH. ALTERNATIVELY, AN INSTALLATION INSTALLER SHALL PROVIDE A SIGNED AND DATED CERTIFICATION OF THE INSULATION INSTALLED IN EACH ELEMENT OF THE BUILDING ENVELOPE. LISTING THE TYPE OF INSULATION INSTALLED IN ROOF/CEILING, THE MANUFACTURER, AND THE R-VALUE. FOR BLOWN-IN OR SPRAYED INSULATION, THE INSTALLER SHALL ALSO PROVIDE THE INITIAL INSTALLED THICKNESS, THE SETTLED THICKNESS, THE COVERAGE AREA, AND THE NUMBER OF BAGS INSTALLED. WHERE BLOWN-IN OR SPRAYED INSULATION IS INSTALLED IN WALLS, FLOORS AND CATHEDRAL CEILING, THE INSTALLER SHALL PROVIDE A CERTIFICATION OF THE INSTALLED DENSITY AND R-VALUE. THE INSTALLER SHALL POST THE CERTIFICATION IN A CONSPICUOUS PLACE ON THE JOB SITE.

ROOF/CEILING INSULATION: THE THICKNESS OF THE ROOF/CEILING INSULATION THAT IS EITHER BLOWN-IN OR SPRAYED SHALL BE IDENTIFIED BY THICKNESS MARKERS THAT ARE LABELED IN INCHES OR MILLIMETERS INSTALLED AT LEAST ONE FOR EVERY 300 SQUARE FEET THROUGHOUT THE ATTIC SPACE. THE MARKERS SHALL BE AFFIXED TO THE TRUSSES OR JOISTS AND MARKED WITH THE MINIMUM INITIAL INSTALLED THICKNESS AND MINIMUM SETTLED THICKNESS WITH NUMBERS A MINIMUM OF 1 INCH IN HEIGHT. EACH MARKER SHALL FACE THE ATTIC ACCESS. THE THICKNESS OF INSTALLED INSULATION SHALL MEET OR EXCEED THE MINIMUM INITIAL INSTALLED THICKNESS SHOWN ON THE MARKER.

FENESTRATION PRODUCT RATINGS: U-FACTORS OF WINDOW ASSEMBLIES, DOORS AND SKYLIGHTS SHALL BE DETERMINED IN ACCORDANCE WITH NFRC 100 BY AN ACCREDITED, INDEPENDENT LABORATORY, AND LABELED AND CERTIFIED BY THE MANUFACTURER. THE SOLAR HEAT GAIN COEFFICIENT (SHGC) OF WINDOWS, GLAZED DOORS AND SKYLIGHTS SHALL BE DETERMINED IN ACCORDANCE WITH NFRC 200 BY AN ACCREDITED, INDEPENDENT LABORATORY, AND LABELED AND CERTIFIED BY THE MANUFACTURER. WHEN A MANUFACTURER HAS NOT DETERMINED PRODUCT U-FACTOR IN ACCORDANCE WITH NFRC 100 FOR A PARTICULAR PRODUCT LINE, COMPLIANCE WITH THE BUILDING ENVELOPE REQUIREMENTS OF THIS ARTICLE SHALL BE DETERMINED BY ASSIGNING SUCH PRODUCTS A DEFAULT U-FACTOR IN ACCORDANCE WITH TABLES 16-13-102.1.3(1) AND 16-13-102.1.3(2) OF THE CHICAGO ENERGY CONSERVATION CODE.

A THERMAL RESISTANCE "R" IDENTIFICATION MARK SHALL BE APPLIED BY THE MANUFACTURER IN MAXIMUM INTERVALS OF NO GREATER THAN 10 FEET TO INSULATED FLEXIBLE DUCT PRODUCTS SHOWING THE THERMAL PERFORMANCE R-VALUE FOR THE DUCT INSULATION ITSELF (EXCLUDING AIR FILLS, VAPOR RETARDERS, OR OTHER DUCT COMPONENTS).

## MATERIALS, SYSTEMS & EQUIPMENT INSTALLATION

INSULATION APPLIED TO THE EXTERIOR OF BASEMENT WALLS, CRAWL-SPACE WALLS AND THE PERIMETER OF SLAB-ON-GRADE FLOORS SHALL HAVE A RIGID, OPAQUE AND WEATHER-RESISTANT PROTECTIVE COVERING TO PREVENT THE DEGRADATION OF THE INSULATION'S THERMAL PERFORMANCE. THE COVERING SHALL COVER THE EXPOSED EXTERIOR INSULATION AND EXTEND A MINIMUM OF 6" BELOW GRADE.

## INTERIOR DESIGN CONDITIONS

TEMPERATURES USED FOR HEATING AND COOLING LOAD CALCULATIONS SHALL BE A MAXIMUM OF 72 DEGREES F FOR HEATING AND MINIMUM 75 DEGREES FOR COOLING.

### BUILDING THERMAL ENVELOPE

PROJECTS SHALL COMPLY WITH EITHER SECTION 16-13-402.1 THROUGH 16-13-402.3 FOR A PRESCRIPTIVE APPROACH OR SECTION 16-13-404 FOR PERFORMANCE APPROACH. COMMERCIAL BUILDINGS MUST COMPLY WITH ARTICLE 5 COMMERCIAL ENERGY EFFICIENCY.

WINDOW ASSEMBLIES SHALL MEET OR EXCEED U-VALUES AS LISTED ON THE DRAWINGS.

DOOR ASSEMBLIES SHALL MEET OR EXCEED U-VALUES AS LISTED ON THE DRAWINGS.

EXTERIOR JOINTS, SEAMS OR PENETRATIONS IN THE BUILDING ENVELOPE THAT ARE SOURCES OF AIR LEAKAGE, SHALL BE SEALED WITH DURABLE CAULKING MATERIALS, CLOSED WITH GASKETING SYSTEMS, TAPED OR COVERED WITH MOISTURE VAPOR-PERMEABLE HOUSE-WRAP. SEALING MATERIALS SPANNING JOINTS BETWEEN DISSIMILAR CONSTRUCTION MATERIALS SHALL ALLOW FOR DIFFERENTIAL EXPANSION AND CONTRACTION OF THE CONSTRUCTION MATERIALS. SEALING INCLUDES BUT IS NOT LIMITED TO ALL JOINTS, SEAMS AND PENETRATIONS, OPENINGS BETWEEN WINDOW AND DOOR ASSEMBLIES AND THEIR RESPECTIVE JAMBS AND AND FRAMING, UTILITY PENETRATIONS, DROPPED CEILINGS OR CHASES ADJACENT TO THE THERMAL ENVELOPE, KNEE WALLS, WALLS AND CEILINGS SEPARATING A GARAGE FROM CONDITION SPACES, BEHIND TUBS AND SHOWERS ON EXTERIOR WALLS, COMMON WALLS BETWEEN DWELLING UNITS, ATTIC AND CRAWL SPACE PANELS, AND RECESSED LIGHTS.

THE AIR LEAKAGE OF PREFABRICATED FENESTRATION SHALL BE DETERMINED BY ACCREDITED, INDEPENDENT LABORATORY IN ACCORDANCE WITH AAMA/WMA/CSA1011.S.2/4440 AND SHALL BE LABELED AND CERTIFIED BY THE MANUFACTURER.

THE HVAC SYSTEM DESIGN SHALL PROVIDE MEANS FOR BALANCING AIR AND WATER SYSTEMS. BALANCING MECHANISMS SHALL INCLUDE, BUT NOT BE LIMITED TO, DAMPERS, TEMPERATURE AND PRESSURE TEST CONNECTIONS AND BALANCING VALVES.

WHEN INSTALLED IN THE BUILDING ENVELOPE, RECESSED LIGHTING FIXTURES SHALL MEET ONE OF THE FOLLOWING REQUIREMENTS:  
- TYPE IC RATED MANUFACTURED WITH NO PENETRATION BETWEEN THE INSIDE OF THE RECESSED FIXTURE AND CEILING CAVITY AND SEALED OR GASKETED TO PREVENT AIR LEAKAGE INTO THE UNCONDITIONED SPACE  
-OR TYPE IC OR NON-IC RATED, INSTALLED INSIDE A SEALED BOX CONSTRUCTED FROM A MINIMUM 0.5-INCH THICK GYPSUM WALLBOARD OR CONSTRUCTED FROM A PREFORMED POLYMERIC VAPOR BARRIER, OR OTHER AIR-TIGHT ASSEMBLY MANUFACTURED FOR THIS PURPOSE, WHILE MAINTAINING REQUIRED CLEARANCES OF NOT LESS THAN 0.5 INCH FROM COMBUSTIBLE MATERIAL AND NOT LESS THAN 3 INCHES FROM INSULATION MATERIAL.  
-OR TYPE IC RATED, IN ACCORDANCE WITH ASTM E283, PERMITTING NO MORE THAN 2.0 CUBIC FEET PER MINUTE OF AIR MOVEMENT FROM THE CONDITIONED SPACE TO THE CEILING CAVITY. THE LIGHTING FIXTURE SHALL BE TESTED AT 1.57 PSI PRESSURE DIFFERENCE AND SHALL BE LABELED.

## BUILDING MECHANICAL SYSTEMS AND EQUIPMENT

AT LEAST ONE PROGRAMMABLE THERMOSTAT SHALL BE PROVIDED FOR EACH SEPARATE HEATING AND COOLING SYSTEM WITH A MINIMUM OF TWO DIFFERENT TIME PERIODS. OCCUPIED AND UNOCCUPIED.

SUPPLY AND RETURN DUCTS ARE TO BE INSULATED TO A MINIMUM R-8 AND DUCTS IN FLOOR TRUSSES TO BE INSULATED TO A MINIMUM R-6 EXCEPT FOR DUCTS OR PORTIONS THEREOF LOCATED COMPLETELY IN SIDE THE BUILDING THERMAL ENVELOPE.

ALL DUCTS, AIR HANDLERS, AND FILTER BOXES USED AS DUCTS ARE TO BE SEALED WITH WELDS, GASKETS, MASTICS (ADHESIVES), MASTIC-PLUS-EMBEDDED-FABRIC SYSTEMS OR TAPES MEETING THE FOLLOWING:

- UL 181A - RIGID FIBROUS TO METAL
- (P) PRESSURE SENSITIVE TAPE
- (M) MASTIC CLOSURE SYSTEM
- (H) HEAT ACTIVATED TAPE

- UL 181B - FLEX OR CONNECTORS TO METAL
- (FX) PRESSURE SENSITIVE TAPE
- (M) MASTIC CLOSURE SYSTEM

UNLISTED DUCT TAPE IS NOT PERMITTED AS A SEALANT ON ANY DUCT. SEAL WITH DUCT MASTIC OR APPROVED TAPE.

MECHANICAL SYSTEM PIPING CAPABLE OF CARRYING FLUIDS ABOVE 105 DEGREES F OR BELOW 55 DEGREES F SHALL BE INSULATED TO MINIMUM R-2.

ALL CIRCULATING SERVICE HOT WATER PIPING SHALL BE INSULATED TO A MINIMUM OF R-2 AND SHALL INCLUDE AN AUTOMATIC OR READILY ACCESSIBLE MANUAL SWITCH THAT CAN TURN OFF THE HOT WATER CIRCULATING PUMP WHEN THE SYSTEM IS NOT IN USE.

OUTDOOR AIR INTAKES OR EXHAUST SHALL HAVE AUTOMATIC OR GRAVITY DAMPERS THAT CLOSE WHEN THE VENTILATION SYSTEM IS NOT OPERATING.

HEATING AND COOLING EQUIPMENT SHALL BE SIZED IN ACCORDANCE WITH ASHRAE FUNDAMENTALS.

SHOWER HEADS SHALL HAVE A MAXIMUM FLOW RATE OF 2.5 GALLONS PER MINUTE AT A PRESSURE OF 80 POUNDS PER SQUARE INCH WHEN TESTED IN ACCORDANCE WITH ASME 11.18.1.

NAECA WATER HEATERS, GAS FUELLED, AND LESS THAN OR EQUAL TO 75,000 BTU/HR SHALL HAVE AN ENERGY FACTOR GREATER THAN OR EQUAL TO 0.62-0.0019V (V IS RATED STORAGE VOLUME IN GALLONS AS SPECIFIED BY THE MANUFACTURER)

updated 09.01.2011

# GENERAL NOTES

updated 05.23.2013

THE FOLLOWING ARE MINIMUM REQUIREMENTS. MORE STRINGENT SPECIFICATIONS AND DRAWINGS WOULD APPLY:

CONTRACT DOCUMENTS INCLUDE THESE DRAWINGS AND SPECIFICATIONS, AIA GENERAL CONDITIONS AND THE SIGNED OWNER-CONTRACTOR AGREEMENT. THESE DRAWINGS AND SPECIFICATIONS ARE BASED ON THE PREMISE THAT AIA DOCUMENTS "OWNER-CONTRACTOR AGREEMENT" AND "GENERAL CONDITIONS A201" WILL BE USED. THE AIA GENERAL CONDITIONS A201 IS HEREBY INCORPORATED WITHIN THESE CONTRACT DOCUMENTS BY REFERENCE AND IS IN EFFECT AS IF PRINTED HERE IN ITS ENTIRETY.

CONTRACTOR TO VISIT THE SITE, INSPECT THE CONDITIONS UNDER WHICH THE WORK WILL BE PERFORMED AND FAMILIARIZE HIMSELF / HERSELF WITH EXISTING CONDITIONS PRIOR TO SUBMITTING A PROPOSAL. THE CONTRACTOR SHALL INFORM THE ARCHITECT IN WRITING ANY CONDITION WHICH WILL ADVERSELY AFFECT THE ARCHITECTURAL INTENT, SCHEDULE, OR COST OF THE PROJECT.

CONTRACTOR IS RESPONSIBLE FOR NOTIFICATION OF AUTHORITIES FOR NECESSARY INSPECTIONS AS WORK PROGRESSES.

CONTRACTOR TO COMPLY WITH ALL CODES, LAWS, ORDINANCES, AND REGULATIONS OF GOVERNMENTAL AUTHORITIES HAVING JURISDICTION.

CONTRACTOR TO COMPLY WITH MANUFACTURERS' RECOMMENDATIONS FOR THE PROPER USE, HANDLING AND INSTALLATION OF THEIR PRODUCTS.

CONTRACTOR TO PROVIDE A WARRANTY THAT THE MATERIALS AND WORKMANSHIP ARE FREE OF DEFECTS. CONTRACTOR TO REPLACE AND/OR REPAIR ANY DEFECT PER THE CONSTRUCTION DOCUMENTS AND WITHIN THE WARRANTY PERIOD AT NO ADDITIONAL COST TO THE OWNER OR ARCHITECT.

CONTRACTOR TO COORDINATE AND SCHEDULE WORK AMONGST TRADES. SCHEDULE DELIVERIES TO COORDINATE WITH CONSTRUCTION ACTIVITIES.

CONTRACTOR TO CONTAIN AND PROTECT THE WORK AREA AND REMOVE & LEGALLY DISPOSE OF ALL DEBRIS. REDUCE NON-HAZARDOUS CONSTRUCTION AND DEMOLITION WASTE BY MIN. 55% (OR AS INDICATED OTHERWISE) BY WEIGHT THROUGH RECYCLING, SALVAGING OR DIVERSION STRATEGIES.

ALL PRODUCTS AND MATERIALS TO BE NEW AND UNUSED UNLESS SPECIFICALLY INDICATED OTHERWISE.

IF CONFLICTS OR DISCREPANCIES EXIST BETWEEN DRAWINGS, SPECIFICATIONS, REFERENCED MATERIALS, AND / OR MANUFACTURER RECOMMENDATIONS, THE MOST STRINGENT OR HIGHEST QUALITY TO GOVERN. NOTIFY ARCHITECT FOR FINAL DECISION AND DIRECTION.

DO NOT SCALE DRAWINGS. IN NO CASE ARE DRAWINGS TO BE SCALED FOR CONSTRUCTION OR BIDDING PURPOSES. VERIFY ALL DIMENSIONS IN FIELD AND NOTIFY THE ARCHITECT OF ANY DISCREPANCY OR CONFLICT.

DATA PRESENTED ON THESE DRAWINGS ARE AS ACCURATE AS SURVEYS AND / OR EXISTING DRAWINGS CAN DETERMINE. ABSOLUTE ACCURACY IS NOT GUARANTEED. FIELD VERIFICATION OF THE DRAWINGS ARE THE RESPONSIBILITY OF THE CONTRACTOR PRIOR TO BID. DISCREPANCIES ARE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND ENGINEER FOR A DECISION TO RESOLVE CONFLICTS PRIOR TO BID.

THE CONTRACTOR SHALL PROVIDE ALL MATERIAL AND LABOR TO PROVIDE A COMPLETE INSTALLATION OF ALL WORK REQUIRED WHETHER INDICATED EXPRESSLY BY THESE DOCUMENTS OR NOT.

THE CONTRACTOR IS RESPONSIBLE FOR DAILY CLEANUP OF THE CONSTRUCTION SITE AND ADJACENT AREAS, AND SHALL CLEAN THE SITE TO THE OWNERS SPECIFICATIONS UPON COMPLETION OF THE PROJECT.

THE CONTRACTOR SHALL MAINTAIN AT THE JOB SITE ONE COPY OF ALL DRAWINGS, SPECIFICATION, ADDENDA, APPROVED SHOP DRAWINGS, FIELD ORDERS, AND OTHER CONTRACT MODIFICATIONS, AND OTHER APPROVED DOCUMENTS SUBMITTED BY THE CONTRACTOR IN COMPLIANCE WITH VARIOUS SECTIONS OF THE SPECIFICATIONS.

EACH OF THE CONTRACTOR'S PROJECT RECORD DOCUMENTS SHALL BE CLEARLY MARKED "PROJECT RECORD COPY", MAINTAINED IN GOOD CONDITION, AVAILABLE AT ALL TIMES FOR OBSERVATION BY THE ARCHITECT, AND NOT USED FOR CONSTRUCTION PURPOSES. UPON COMPLETION OF THE WORK, THE CONTRACTOR SHALL PROVIDE THE OWNER ONE COMPLETE SET OF DOCUMENTS SHOWING CHANGES TO THE ORIGINAL DOCUMENTS.

THE CONTRACTOR SHALL MARK ON THE MOST APPROPRIATE DOCUMENTS TO SHOW SIGNIFICANT CHANGES MADE DURING THE CONSTRUCTION PROCESS, AND SIGNIFICANT DETAIL NOT SHOWN IN THE ORIGINAL CONTRACT DOCUMENTS. THE INFORMATION GIVEN SHALL INCLUDE, BUT NOT LIMITED TO, THE LOCATION OF UNDERGROUND UTILITIES AND ASSOCIATED CONDITIONS REFERENCED TO PERMANENT SURFACE IMPROVEMENTS, THE LOCATION OF INTERNAL UTILITIES AND ASSOCIATED CONDITIONS CONCEALED IN THE BUILDING STRUCTURES, REFERENCED IN VISIBLE AND ACCESSIBLE FEATURES OR STRUCTURES.

THE OWNER MAY PURCHASE AND/OR INSTALL MATERIALS, EQUIPMENT AND FURNISHINGS UNDER SEPARATE CONTRACTS. THE CONTRACTOR SHALL COOPERATE WITH THE OWNER TO ALLOW DELIVERY AND INSTALLATION OF SUCH ITEMS.

## TYPICAL DEMOLITION NOTES

updated 05.23.2013

THE FOLLOWING ARE MINIMUM REQUIREMENTS. MORE STRINGENT SPECIFICATIONS AND DRAWINGS WOULD APPLY:

THE EXTENT OF THE DEMOLITION WORK SHOWN ON THE DRAWINGS IS INTENDED TO GIVE THE CONTRACTOR THE SCOPE OF THE DEMOLITION REQUIRED. THE ACTUAL EXTENT OF DEMOLITION IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

EXISTING EQUIPMENT, FIXTURES, FURNISHINGS ETC., TO REMAIN ARE TO BE RELOCATED OR STORED PER OWNER'S DIRECTION AND BE PROTECTED FROM DAMAGE AND VANDALISM.

CONTRACTOR TO COORDINATE DEMOLITION AND CONSTRUCTION OPERATIONS WHERE THEY AFFECT EXISTING WORK AREAS AND NORMAL OPERATING PROCEDURES. PROVIDE PROTECTION FOR THE NORMAL OPERATION OF THE FACILITY FROM DUST, FUMES, SMOKE, WATER, AND NOISE DURING DEMOLITION.

DEMOLITION EXPOSING THE INTERIOR OF THE BUILDING TO THE OUTSIDE ELEMENTS OR TO THE PUBLIC IS TO BE PROPERLY SECURED AND PROTECTED TO ELIMINATE DAMAGE FROM VANDALISM OR WEATHER. COORDINATE WITH OWNER'S REQUIREMENTS.

FIELD VERIFY LOCATIONS OF LOAD BEARING PARTITIONS, COLUMNS, BEAMS, AND SYSTEMS. CAUTION TO BE EXERCISED DURING DEMOLITION AND NEW CONSTRUCTION SO AS NOT TO ALTER AND / OR DAMAGE THE BUILDING'S STRUCTURAL AND OTHER PERTINENT SYSTEMS.

THE CONTRACTOR IS RESPONSIBLE FOR ALL SHORING, BRACING, AND PROTECTION TO MAINTAIN INTEGRITY AND SAFETY OF THE EXISTING BUILDING AND AREAS OF CONSTRUCTION.

REMOVE ALL MISCELLANEOUS ABANDONED OR NON-FUNCTIONING COMPONENTS AND DEVICES FOR PROPER DISPOSAL.

DISCONNECT, REMOVE OR CAP ALL UTILITIES AND DRAIN LINES AS REQUIRED. MAKE PROVISIONS FOR TEMPORARY UTILITY CONNECTIONS AS NECESSARY.

UNLESS INDICATED OTHERWISE, ALL AREAS AFFECTED BY DEMOLITION WORK ARE TO BE PATCHED, REPAIRED, AND SEALED TO MATCH EXISTING ADJACENT SURFACES AND FINISHES.

PATCH ALL NEW AND EXISTING PENETRATIONS IN FIRE RATED ASSEMBLIES TO MATCH EXISTING CONSTRUCTION AND MAINTAIN FIRE RATING UNLESS INDICATED OTHERWISE.

WHERE OPENINGS ARE INDICATED, REMOVAL OF THE APPLICABLE MATERIAL TO CREATE THE OPENING IS IMPLIED.

ALL SUBSURFACES ARE TO BE BROUGHT TO CONDITIONS SUITABLE FOR RECEIVING NEW WORK.

THE CONTRACTOR SHALL INFORM THE ARCHITECT IN WRITING OF ANY UNFORSEEN CONDITIONS UNCOVERED DURING DEMOLITION IMMEDIATELY, AND SHALL WORK WITH THE ARCHITECT TO RESOLVE ANY PROBLEMS IN A TIMELY MANNER.

THESE PLANS AND SPECIFICATIONS DO NOT INDICATE THE REMOVAL OF ASBESTOS NOR LEAD, NOR DO THEY ANTICIPATE ASBESTOS AND LEAD REMOVAL. PRIOR TO THE ONSET OF CONSTRUCTION, THE CONTRACTOR SHALL DETERMINE IF ANY SUCH CONDITIONS OCCUR. THE GC IS RESPONSIBLE FOR PROVIDING THE OWNER WITH ANY ABATEMENT PROCEDURES NECESSARY. THE ARCHITECT IS NOT RESPONSIBLE FOR ANY ABATEMENT PROCEDURES.

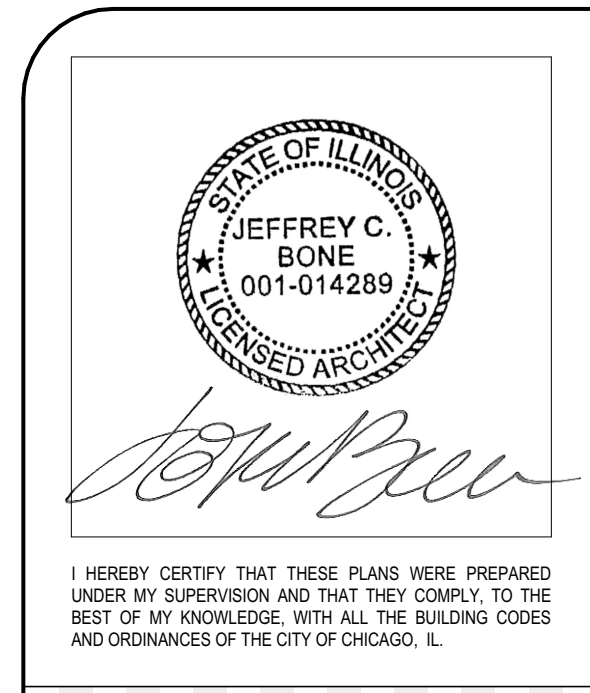
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO IDENTIFY POINTS OF ACCESS TO THE BUILDING AND TO VERIFY MINIMUM CLEARANCES AVAILABLE FOR USE IN TRANSPORTING NECESSARY CONSTRUCTION MACHINERY, EQUIPMENT, MATERIALS, AND COMPONENTS INTO THE BUILDING. USE OF SUCH POINTS OF ACCESS SHALL BE APPROVED BY THE OWNER.

EXISTING LIFE SAFETY AND EMERGENCY SYSTEMS MAY NOT BE SHOWN ON THE DRAWINGS TO THEIR ENTIRETY. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF LOCATION AND EXTENT OF THESE SYSTEMS (INCLUDING BUT NOT LIMITED TO SMOKE DETECTOR SYSTEMS, EMERGENCY LIGHTING SYSTEMS) AS THEY MAY BE AFFECTED BY NEW WORK. THE CONTRACTOR IS RESPONSIBLE FOR ACCOMMODATING THESE SYSTEMS WHEN AFFECTED BY NEW WORK SO THAT ALL APPLICABLE CODE REQUIREMENTS ARE MET.

ALL CONDUIT THAT IS ABANDONED SHALL BE REMOVED BACK TO THE SOURCE. ALL ABANDONED EXPOSED CONDUIT, INCLUDING ABOVE DROPPED CEILINGS, SHALL BE REMOVED UNLESS NOTED OTHERWISE. ALL PLUMBING AND HVAC SYSTEMS THAT ARE TO BE REMOVED ARE TO BE TERMINATED AT THE SOURCE AND REMOVED UNLESS NOTED OTHERWISE.

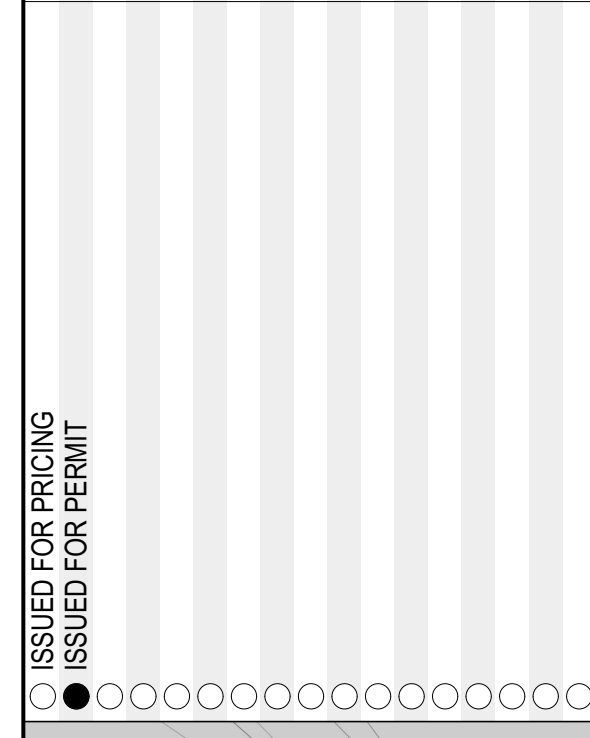
ALL DOORS, HARDWARE AND LIGHTING FIXTURES NOT SCHEDULED FOR RE-USE SHALL BE RETURNED TO BUILDING STOCK. COORDINATE WITH BUILDING FOR REMOVAL BY CONTRACTOR TO STORAGE AREA. IF REJECTED BY BUILDING, CONTRACTOR SHALL DISPOSE OF AS INDICATED.

THE CONTRACTOR SHALL BE AWARE THAT THE OWNER WILL CONTINUE TO USE THE ADJACENT AREAS DURING CONSTRUCTION. THE CONTRACTOR SHALL MINIMIZE IMPACT ON ADJACENT AREAS, AND MAY NOT USE ADJACENT AREAS FOR STORAGE OR STAGING. ADJACENT AREAS ARE TO BE KEPT CLEAN OF CONSTRUCTION RESIDUE/DEBRIS.



I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED UNDER MY SUPERVISION AND THAT THEY CONFORM TO THE BEST OF MY KNOWLEDGE, WITH ALL THE BUILDING CODES AND ORDINANCES OF THE CITY OF CHICAGO, IL.

06/30/2015  
08/22/2011



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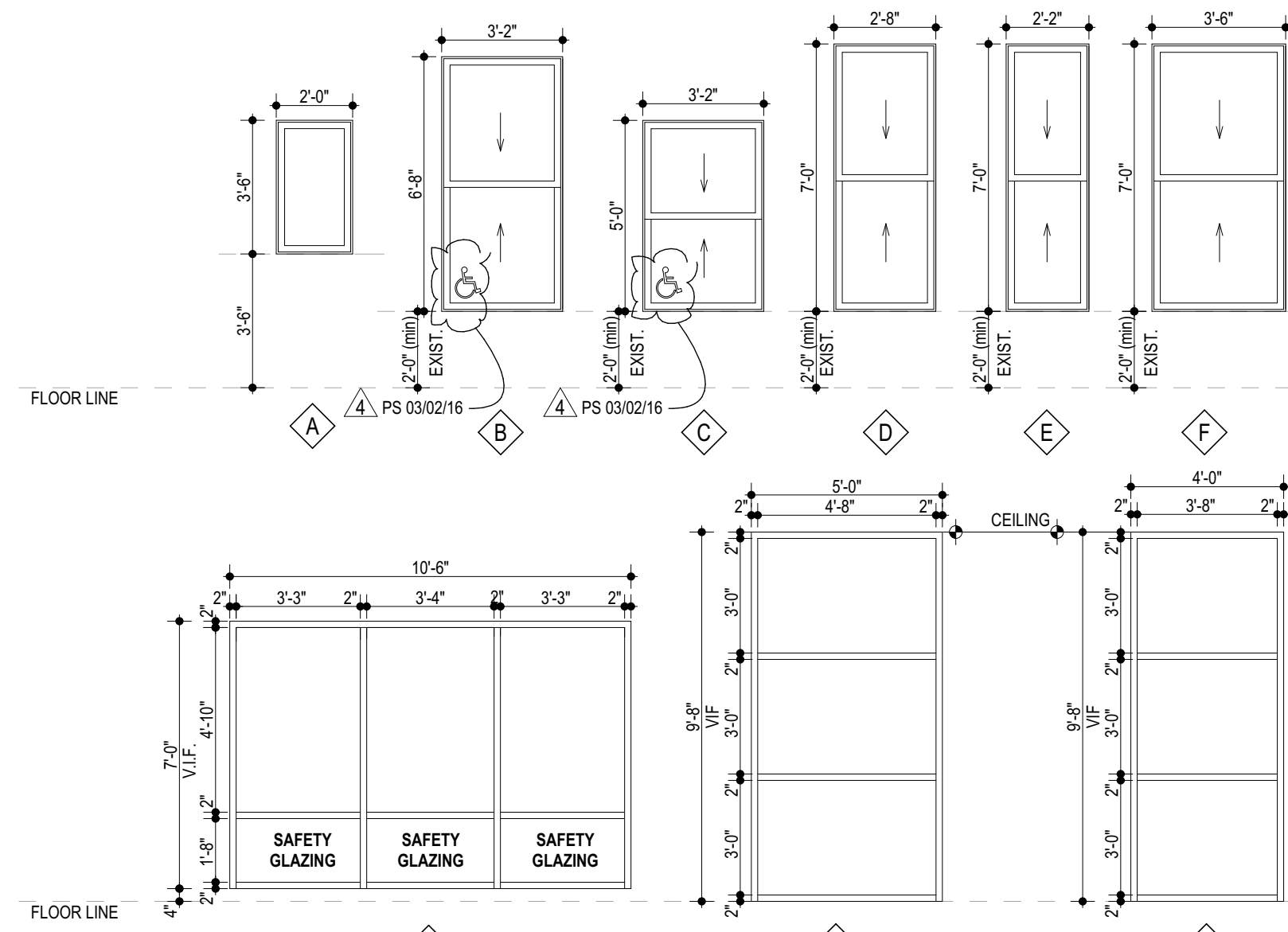
**CTU Immigrants Center**  
 9805 S Ewing Ave  
 Chicago IL 60617

**1505**  
**Abbreviations, Energy Code Notes, General Notes**

**A-003**

### WINDOW AND STOREFRONT SCHEDULE

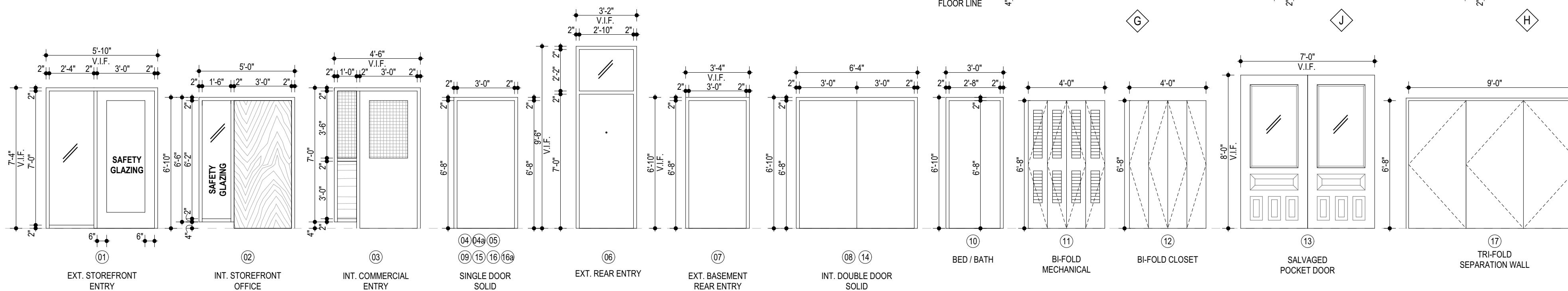
MARK	OPERATION	TYPE		SIZE		MAXIMUM U-VALUE	MAXIMUM SHGC	MINIMUM GLAZING	ARGON FILLED	LOW E	TEMPERED GLAZING	INTEGRAL CHILD SAFETY LATCHES		
		MATERIAL	INTERIOR FINISH	EXTERIOR FINISH	WIDTH								HEIGHT	
A	FIXED	VINYL	FACTORY POWDER-COAT FINISH WHITE	FACTORY POWDER-COAT FINISH FULL SELECTION OF MANUF. DUAL-COLOR OPTIONS	2'-0"	3'-6"	0.35	0.55	CLEAR INSULATED DOUBLE GLAZED	YES	YES	NO	NO	
B	DOUBLE-HUNG	VINYL	FACTORY POWDER-COAT FINISH WHITE	FACTORY POWDER-COAT FINISH FULL SELECTION OF MANUF. DUAL-COLOR OPTIONS	3'-2"	6'-8"	0.35	0.55	CLEAR INSULATED DOUBLE GLAZED	YES	YES	NO	YES	
C	DOUBLE-HUNG	VINYL	FACTORY POWDER-COAT FINISH WHITE	FACTORY POWDER-COAT FINISH FULL SELECTION OF MANUF. DUAL-COLOR OPTIONS	3'-2"	5'-0"	1'-10"	0.35	0.55	CLEAR INSULATED DOUBLE GLAZED	YES	YES	NO	YES
D	DOUBLE-HUNG	VINYL	FACTORY POWDER-COAT FINISH WHITE	FACTORY POWDER-COAT FINISH FULL SELECTION OF MANUF. DUAL-COLOR OPTIONS	2'-8"	7'-0"	1'-10"	0.35	0.55	CLEAR INSULATED DOUBLE GLAZED	YES	YES	NO	YES
E	DOUBLE-HUNG	VINYL	FACTORY POWDER-COAT FINISH WHITE	FACTORY POWDER-COAT FINISH FULL SELECTION OF MANUF. DUAL-COLOR OPTIONS	2'-2"	7'-0"	1'-10"	0.35	0.55	CLEAR INSULATED DOUBLE GLAZED	YES	YES	NO	YES
F	DOUBLE-HUNG	VINYL	FACTORY POWDER-COAT FINISH WHITE	FACTORY POWDER-COAT FINISH FULL SELECTION OF MANUF. DUAL-COLOR OPTIONS	3'-6"	7'-0"	1'-10"	0.35	0.55	CLEAR INSULATED DOUBLE GLAZED	YES	YES	NO	YES
G	FIXED	ALUM. STOREFRONT	FACTORY POWDER-COAT FINISH	FACTORY POWDER-COAT FINISH	10'-0"	7'-0"	0'-4"	0.45	0.40	CLEAR INSULATED DOUBLE GLAZED	YES	YES	YES	NA
H	FIXED	ALUM. STOREFRONT	FACTORY POWDER-COAT FINISH	FACTORY POWDER-COAT FINISH	4'-0"	9'-8" (V.F.)	0'-0"	-	-	CLEAR, INTERIOR	NO	NO	YES	NA
J	FIXED	ALUM. STOREFRONT	FACTORY POWDER-COAT FINISH	FACTORY POWDER-COAT FINISH	5'-0"	8'-8" (V.F.)	0'-0"	-	-	CLEAR, INTERIOR	NO	NO	YES	NA



### TYPICAL WINDOW AND GLAZING NOTES

THE FOLLOWING ARE MINIMUM REQUIREMENTS. MORE STRINGENT SPECIFICATIONS AND DRAWINGS WOULD APPLY.

1. ALL GLAZED DOORS AND ANY GLAZED PANELS MORE THAN 18" IN WIDTH IMMEDIATELY ADJACENT TO ANY DOOR WHEREIN THE SILL OF SUCH GLAZED PANEL IS LESS THAN 24" A.F.F. SHALL BE SAFETY GLAZED.
2. ALL WINDOWS WHICH HAVE PART OR ALL OF THE GLAZING LOCATED BELOW 24" A.F.F. SHALL BE DESIGNED TO RESIST A SIMULTANEOUS VERTICAL AND HORIZONTAL THRUST OF 50 PLF IN ANY DIRECTION, WHICHEVER PRODUCES THE GREATEST STRESS.
3. ALL GLAZING SHALL HAVE LOW E COATING AND BE INSULATED.
4. ALL METAL WINDOW FRAMES SHALL BE THERMALLY BROKEN.
5. ALL WINDOWS SHALL BE NATIONAL PENETRATION RATING COUNCIL (NFRC) RATED WINDOWS WITH A MAXIMUM U-VALUE OF 0.35. THE MAXIMUM SOLAR HEAT GAIN COEFFICIENT (SHGC) SHALL BE 0.55. U-VALUES APPLY TO THE ENTIRE WINDOW NOT JUST THE GLAZING. SHGC APPLIES TO GLAZING ONLY.
6. ALL OPERABLE WINDOWS SHALL HAVE INSECT SCREENS AND INTEGRAL SASH RESTRICTORS.
7. PROVIDE VERTICAL AND HORIZONTAL STEEL REINFORCING W/ EXTRUDED VINYL COVERS AS REQUIRED BY THE WINDOW MANUFACTURER TO ACHIEVE THE WINDOW SIZES SHOWN ON THE DRAWINGS. SUBMIT SHOP DRAWINGS FOR APPROVAL.
8. WHERE EXISTING SILLS ARE NOT MEETING THE MIN. 2'-0" SILL HEIGHT, PROVIDE WINDOW INFILL TO MATCH EXISTING EXTERIOR WALL MATERIAL OR BLOCKING AS NEEDED TO RAISE SILL TO MIN. 2'-0" A.F.F. WINDOW SILL HEIGHT.
9. WHERE OPERABLE WINDOWS ARE PROVIDED IN TYPE 504 AND TYPE A ACCESSIBLE UNITS, ONE WINDOW IN EACH SLEEPING, LIVING AND DINING SPACE SHALL HAVE OPERABLE PARTS THAT CAN BE USED WITH ONE HAND AND DO NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST. THESE WINDOWS SHALL HAVE A 30" X 48" LONG CLEAR FLOOR SPACE POSITIONED FOR EITHER A FORWARD OR PARALLEL APPROACH. THE FORCE REQUIRED TO ACTIVATE OPERABLE PARTS SHALL NOT BE GREATER THAN 5.0 POUNDS (22.2 N) MAXIMUM. ALL OPERABLE PARTS SHALL BE LOCATED BETWEEN 15" TO 48" ABOVE THE FINISHED FLOOR. WINDOWS IDENTIFIED IN ELEVATION WITH THE FOLLOWING SYMBOL SHALL MEET THIS REQUIREMENT. RESTRICTORS TO BE PROVIDED ON ALL OPERABLE ACCESSIBLE WINDOWS.



### TYPICAL DOOR NOTES

THE FOLLOWING ARE MINIMUM REQUIREMENTS. MORE STRINGENT SPECIFICATIONS AND DRAWINGS WOULD APPLY.

1. ALL GLAZED DOORS AND ANY GLAZED PANELS MORE THAN 18" IN WIDTH IMMEDIATELY ADJACENT TO ANY DOOR WHEREIN THE SILL OF SUCH GLAZED PANEL IS LESS THAN 24" A.F.F. SHALL BE SAFETY GLAZED.
2. ALL GLAZING IN FIRE RATED DOORS SHALL BE FIRE RATED.
3. ALL EXTERIOR DOORS SHALL HAVE INSULATED GLASS AND A LOW E COATING.
4. ALL EXTERIOR DOORS AND FRAMES SHALL HAVE MIN. R-5 INSULATION UNLESS INDICATED OTHERWISE.
5. ALL METAL FRAMES SHALL BE THERMALLY BROKEN.
6. ALL DOORS SHALL BE LOCATED 4" FROM FINISHED WALL INTERSECTIONS OR CENTERED IN WALL AS SHOWN IN DRAWINGS UNLESS NOTED OTHERWISE.
7. NO LAUAN OR TROPICAL WOOD DOORS SHALL BE USED.
8. PROVIDE PROPER MANEUVERING CLEARANCES AT ACCESSIBLE DOORS PER ICC/ANSI A117.1-2003 CHAPTER 4.404.2.3.
9. ALL ACCESSIBLE DOORS SHALL HAVE A MIN. 32" CLEAR DOOR OPENING MEASURED FROM THE FACE OF THE DOOR WHEN IT IS OPENED 90% TO THE DOOR STOP PER ICC/ANSI A117.1-2003 CHAPTER 4.404.
10. OPAQUE EXTERIOR DOORS SHALL HAVE A MAXIMUM U-VALUE OF 0.21; EXTERIOR DOORS W/ 28% GLAZING OR LESS SHALL HAVE A MAXIMUM U-VALUE OF 0.27 AND A MAXIMUM SOLAR HEAT GAIN COEFFICIENT (SHGC) OF 0.30. EXTERIOR DOORS W/ MORE THAN 28% GLAZING SHALL HAVE A MAXIMUM U-VALUE OF 0.32 AND A MAXIMUM SHGC OF 0.30. U-VALUES APPLY TO ENTIRE DOOR NOT JUST THE GLAZING. SHGC APPLIES TO GLAZING ONLY.
11. UNDERCUT ALL BEDROOM AND BATHROOM DOORS BY 3/4" FOR RETURN AIR CIRCULATION, UNLESS INDICATED OTHERWISE. COORDINATE WITH MEP REQUIREMENTS.
12. ALL SIDE-LITES AND TRANSOMS SHALL HAVE A MAXIMUM U-VALUE OF 0.28. THE MAXIMUM SOLAR HEAT GAIN COEFFICIENT (SHGC) SHALL BE 0.26. U-VALUES APPLY TO THE ENTIRE WINDOW NOT JUST THE GLAZING. SHGC APPLIES TO GLAZING ONLY.
13. SIGNAGE SHALL COMPLY WITH IAC 400.310(U) AND SHALL BE LOCATED AT COMMON PERMANENT ROOMS OR SPACES INCLUDING INTERIOR APARTMENT NUMBERS, EXIT SIGNS AT DOORS, MANAGEMENT RESTROOMS (3 TOTAL), MANAGEMENT MAINTENANCE ROOM, THE MANAGEMENT COMPUTER ROOM AND WHERE INDICATED. TEXT SHALL CONTRAST WITH THE BACKGROUND AND BE RAISED OR INCISED AND MOUNTED TO THE LATCH SIDE OF THE DOOR. PER IAC, LOCATE SIGNAGE ON WALL ADJACENT TO THE LATCH SIDE OF THE DOOR (OR THE NEAREST ADJACENT WALL WHERE THERE IS NO WALL SPACE TO THE LATCH SIDE OF THE DOOR INCLUDING DOUBLE LEAF DOORS). MOUNTING HEIGHT SHALL BE 60" A.F.F. TO THE CENTERLINE OF THE SIGN. SIGNS WITH TACTILE CHARACTERS SHALL BE LOCATED WITH A MIN. 18" CENTERED ON THE TACTILE CHARACTERS BEYOND THE ARC OF ANY DOOR SWING BETWEEN THE CLOSED POSITION AND 45 DEGREE OPEN POSITION. SIGNS ARE PERMITTED ON PUSH SIDE OF DOORS WITH CLOSERS.
14. SEE SHEET A-501 FOR INTERIOR DOOR DETAILS.

### FINISH SCHEDULE

ROOM AREA	FLOOR	BASE	WALLS	CEILING	NOTES
<b>BASEMENT FLOOR</b>					
OPEN BASEMENT	12" X 12" VCT (1 COLOR)	4" HIGH VINYL BASE	PAINTED DRYWALL	PAINTED DRYWALL	ACCENT WALL COLOR
STORAGE	12" X 12" VCT (1 COLOR)	4" HIGH VINYL BASE	PAINTED DRYWALL	PAINTED DRYWALL	
FURNACE CLOSET/MECHANICAL ROOM	12" X 12" VCT (1 COLOR)	4" TS RUBBER	PAINTED DRYWALL	PAINTED DRYWALL	
BATHROOM	12" X 12" CERAMIC TILE	4" HIGH X 1/2" WIDE PORCELAIN TILE W/ BULLNOSED EDGE	PAINTED DRYWALL	PAINTED DRYWALL	EXPOSED CONCRETE TREAD ON PAINTED STEEL STAIR
KITCHEN	12" X 12" VCT (3 COLOR SCHEME)	4" HIGH VINYL BASE	PAINTED DRYWALL	PAINTED DRYWALL	
STAIRS	RUBBER STAR TREADS AND RISERS	4" HIGH VINYL BASE	PAINTED DRYWALL	PAINTED DRYWALL	
STAIRS LANDING	12" X 12" VCT (2 COLOR SCHEME)	4" HIGH VINYL BASE	PAINTED DRYWALL	PAINTED DRYWALL	
<b>FIRST FLOOR FLOOR</b>					
RECEPTION/WAITING ROOM	WOOD PLANK LUXURY STRIP VINYL	1/4" PAINTED MDF BASE W/ PAINTED QUARTER ROUND SHOE MOLD	PAINTED DRYWALL	PAINTED DRYWALL	FLOORING TO HAVE A MIN 20 MIL WEAR LAYER
OFFICE 4 ENKAE	WOOD PLANK LUXURY STRIP VINYL	1/4" PAINTED MDF BASE W/ PAINTED QUARTER ROUND SHOE MOLD	PAINTED DRYWALL	PAINTED DRYWALL	FLOORING TO HAVE A MIN 20 MIL WEAR LAYER
CONFERENCE ROOM	WOOD PLANK LUXURY STRIP VINYL	1/4" PAINTED MDF BASE W/ PAINTED QUARTER ROUND SHOE MOLD	PAINTED DRYWALL	PAINTED DRYWALL	FLOORING TO HAVE A MIN 20 MIL WEAR LAYER
ESL TRAINING	WOOD PLANK LUXURY STRIP VINYL	1/4" PAINTED MDF BASE W/ PAINTED QUARTER ROUND SHOE MOLD	PAINTED DRYWALL	PAINTED DRYWALL	FLOORING TO HAVE A MIN 20 MIL WEAR LAYER
CORRIDOR	WOOD PLANK LUXURY STRIP VINYL	1/4" PAINTED MDF BASE W/ PAINTED QUARTER ROUND SHOE MOLD	PAINTED DRYWALL	PAINTED DRYWALL	FLOORING TO HAVE A MIN 20 MIL WEAR LAYER
MECHANICAL ROOM	VCT (1 COLOR)	4" TS RUBBER	PAINTED DRYWALL	PAINTED DRYWALL	
BATHROOM	12" X 12" PORCELAIN TILE	4" HIGH X 1/2" WIDE PORCELAIN TILE W/ BULLNOSED EDGE	SEE NOTES	PAINTED DRYWALL	*DUROCK OR APPROVED EQUAL AT TUB WALL SURROUND TILE, MOLD RESISTANT GREEN BOARD AT ALL OTHER WALLS AND CEILING **3 COLOR TILE WALL SURROUND PRICE RANGE 2; BULLNOSED EDGES
OPEN OFFICE	WOOD PLANK LUXURY STRIP VINYL	1/4" PAINTED MDF BASE W/ PAINTED QUARTER ROUND SHOE MOLD	PAINTED DRYWALL	PAINTED DRYWALL	*MOISTURE RESISTANT GREEN BOARD AT KITCHENETTE WET WALL
EXECUTIVE OFFICE	LUXURY VINYL STRIP FLOORING	1/4" PAINTED MDF BASE W/ PAINTED QUARTER ROUND SHOE MOLD	PAINTED DRYWALL	PAINTED DRYWALL	
SHARED OFFICE SPACE	12" X 12" VCT (3 COLOR SCHEME)	1/4" PAINTED MDF BASE W/ PAINTED QUARTER ROUND SHOE MOLD	PAINTED DRYWALL	PAINTED DRYWALL	*MOISTURE RESISTANT GREEN BOARD AT KITCHENETTE WET WALL
<b>SECOND FLOOR FLOOR</b>					
BEDROOM 1 & 2	WOOD PLANK LUXURY STRIP VINYL	1/4" PAINTED MDF BASE W/ PAINTED QUARTER ROUND SHOE MOLD	PAINTED DRYWALL	PAINTED DRYWALL	FLOORING TO HAVE A MIN 20 MIL WEAR LAYER
BATHROOM	12" X 12" PORCELAIN TILE	4" HIGH X 1/2" WIDE PORCELAIN TILE W/ BULLNOSED EDGE	SEE NOTES	PAINTED DRYWALL	*DUROCK OR APPROVED EQUAL AT TUB WALL SURROUND TILE, MOLD RESISTANT GREEN BOARD AT ALL OTHER WALLS AND CEILING **3 COLOR TILE WALL SURROUND PRICE RANGE 2; BULLNOSED EDGES
KITCHEN	12" X 12" VCT (2 COLOR SCHEME)	4" HIGH VINYL BASE	PAINTED DRYWALL	PAINTED DRYWALL	*MOISTURE RESISTANT GREEN BOARD AT KITCHEN WET WALL
CLOSETS	VCT (1 COLOR)	4" HIGH VINYL BASE	PAINTED DRYWALL	PAINTED DRYWALL	
FURNACE CLOSET	VCT (1 COLOR)	4" HIGH VINYL BASE	PAINTED DRYWALL	PAINTED DRYWALL	
PANTRY	VCT (1 COLOR)	4" HIGH VINYL BASE	PAINTED DRYWALL	PAINTED DRYWALL	
CORRIDOR	WOOD PLANK LUXURY STRIP VINYL	1/4" PAINTED MDF BASE W/ PAINTED QUARTER ROUND SHOE MOLD	PAINTED DRYWALL	PAINTED DRYWALL	FLOORING TO HAVE A MIN 20 MIL WEAR LAYER

### DOOR SCHEDULE

MARK	LOCATION	DOOR			FRAME		MIN R-5 INSULATION FRAME AND DOOR	DOOR GLAZING	FIRE LABEL	HARDWARE	REMARKS
		TYPE	MAT'L	FINISH	MAT'L	FINISH					
01	EXT STOREFRONT ENTRY	SINGLE GLAZED	ALUM STOREFRONT	PRE-FINISHED ALUM	3'-0"	7'-2"	1.34"	PRE-FINISHED ALUM STOREFRONT	YES	1" CLR. INSUL. TEMPERED GLAZING	LOW E COATING, ARGON FILLED, THERMAL BREAK, SIDE LITE AND TRANSOM, WEATHERSTRIPPING & SWEEPS, ADA SURFACE CLOSER, ADA LEVER, SECURITY HINGES, ELEC STRIKE & COVER, SILENCERS, U-FACTOR: 0.90 MAX
02	INT OFFICE STOREFRONT	SINGLE SOLID/FLUSH	SOLID CORE WOOD	CLEAR BIRCH	3'-0"	6'-8"	1.34"	PRE-FINISHED ALUM STOREFRONT	-	3/4" CLR. TEMPERED GLAZING	ADA LEVER
03	INT COMMERCIAL ENTRY	SINGLE SOLID/FLUSH	STL GLAZED	PTD	3'-0"	7'-2"	1.34"	SINGLE STL	PTD	3/4" CLR. WIRED TEMPERED GLAZING	C: 45 min B: ADA SURFACE CLOSER, ADA LEVER, INTERCONNECTED MORTISE LOCKSET, WIRED SAFETY GLAZING IN DOOR AND SIDE LITE, MAX. 1,296 SQ. IN. EACH PANE
04	INT STAIR / OFFICE	SINGLE SOLID/FLUSH	SOLID CORE WOOD	PTD	3'-0"	6'-8"	1.34"	SINGLE HOLLOW METAL	PTD	-	C: 45 min N: ADA SURFACE CLOSER, ADA LEVER, INTERCONNECTED MORTISE LOCKSET, WIRED SAFETY GLAZING IN DOOR AND SIDE LITE, MAX. 1,296 SQ. IN. EACH PANE
04a	INT UNIT ENTRY	SINGLE SOLID/FLUSH	SOLID CORE WOOD	PTD	3'-0"	6'-8"	1.34"	SINGLE HOLLOW METAL	PTD	YES	-
05	INT BATHROOM	SINGLE SOLID/FLUSH	SOLID CORE WOOD	PTD	3'-0"	6'-8"	1.34"	SINGLE WOOD	PTD	-	E: KNURLED HARDWARE AT MECHANICAL ROOMS
06	EXT REAR ENTRY	SINGLE SOLID/FLUSH	INS. STL	PTD	2'-10"	7'-0"	1.34"	SINGLE STL	PTD	YES	-
07	EXT BASEMENT REAR ENTRY	SINGLE SOLID/FLUSH	INS. STL	PTD	3'-0"	6'-8"	1.34"	SINGLE STL	PTD	YES	-
08	INT BASEMENT STORAGE	DOUBLE SOLID/FLUSH	HOLLOW MTL	PTD	6'-0"	6'-8"	1.34"	DOUBLE HOLLOW METAL	PTD	-	B: 90 min G: ADA LEVER
09	INT BASEMENT STORAGE	SINGLE SOLID/FLUSH	HOLLOW MTL	PTD	3'-0"	6'-8"	1.34"	SINGLE HOLLOW METAL	PTD	-	B: 90 min N: ADA LEVER
10	INT BEDROOM / BATHROOM	SINGLE SOLID/FLUSH	HOLLOW CORE WOOD	PTD	2'-8"	6'-8"	1.38"	SINGLE WOOD	PTD	-	J: (2) ROBE HOOKS AT BATHROOMS
11	BI-FOLD MECHANICAL	LOUVERED BI-FOLD	HOLLOW CORE WOOD	PTD	5'-0"	6'-8"	1.38"	DRYWALL RETURN	-	-	M
12	BI-FOLD CLOSET	BI-FOLD	HOLLOW CORE WOOD	PTD	4'-0"	6'-8"	1.38"	DRYWALL RETURN	-	-	M
13	SALVAGED POCKET DOOR	SLIDING	EXIST. SALVAGED WOOD / NEW GLASS	CLEAR	3'-6"	8'-0"	1.38"	NONE	-	14" CLEAR GLASS	- NEW PTD METAL TRACK ABOVE
14	INT METER/DATA CLOSET	DOUBLE SOLID/FLUSH	HOLLOW MTL	PTD	3'-6"	6'-8"	1.34"	DOUBLE HOLLOW METAL	PTD	-	L
15	MECHANICAL ROOM	SINGLE SOLID/FLUSH	HOLLOW MTL	PTD	3'-6"	6'-8"	1.34"	SINGLE HOLLOW METAL	PTD	-	B: 90 min F
16	CLOSETS	SINGLE SOLID/FLUSH	HOLLOW CORE WOOD	PTD	3'-6"	6'-8"	1.34"	NONE	-	-	K
16a	JANITOR'S CLOSET	SINGLE SOLID/FLUSH	HOLLOW CORE WOOD	PTD	3'-6"	6'-8"	1.34"	SINGLE WOOD	PTD	-	H
17	BASEMENT SEPARATION WALL	TRI-FOLD	HOLLOW CORE WOOD	PTD	9'-0"	6'-8"	1.38"	SINGLE WOOD	PTD	-	M: DOOR FRAME AND HARDWARE PER MANUFACTURER'S RECOMMENDATIONS

### HARDWARE SCHEDULE

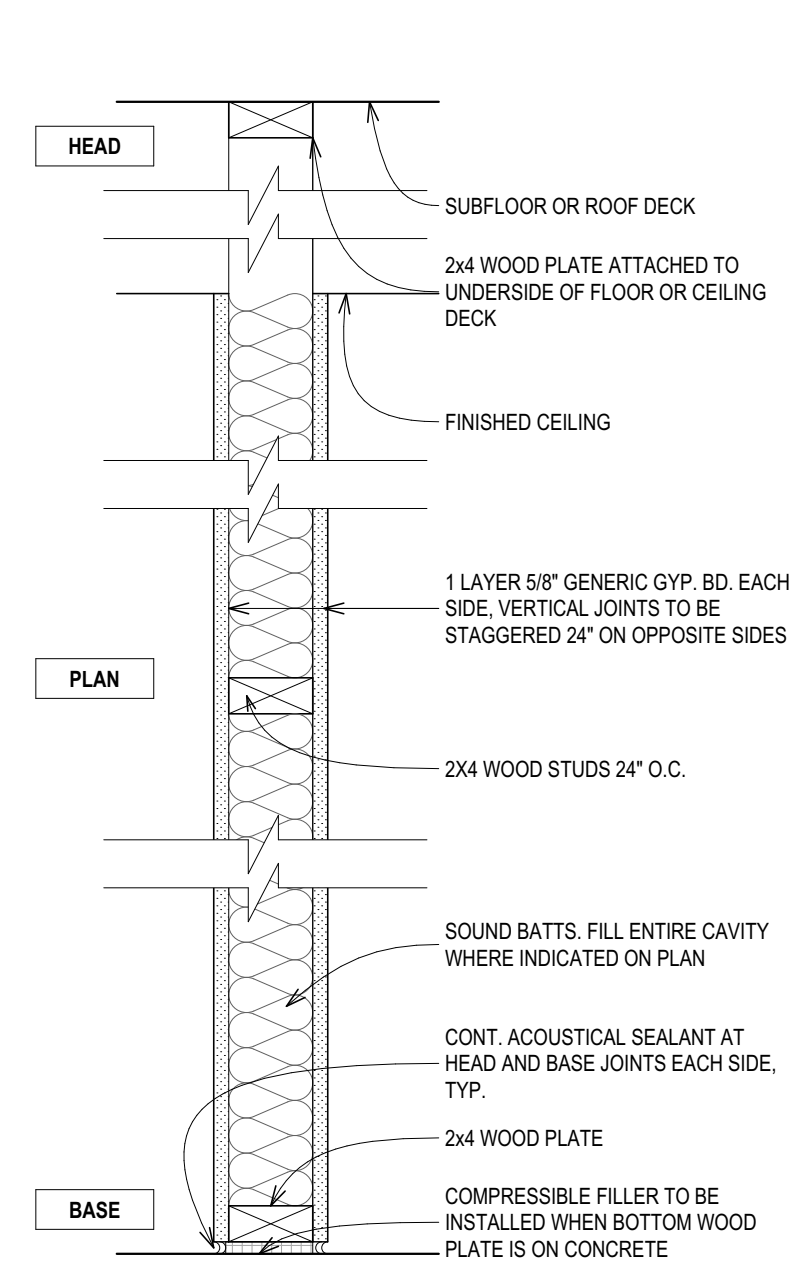
SET MARK	LOCATION	LOCKSET		HINGES			OTHER HARDWARE																				
		#	TYPE	#	TYPE	CLOSER	FOUR ACCESS	KEY ACCESS	NON-ADJ. W/ REVERSE	NON-ADJ. W/ REVERSE	ELECTRIC	ADA REAR/LATCH	UNLATCHED LOCKSET	MANUAL FLUSH/RETR	ASTRAL	ADA THRESHOLD	STRIPPING	STRIPPERS (1 PER DOOR)	SILENCERS (1 PER DOOR)	HOCK PLATE (ON SIDE ONLY)	DOOR GUARD	NON-ADJ. W/ REVERSE	BATH ROBE HOOK	BATH FLOOR DOOR STOP (1 PER DOOR)	DOOR STOP (1 PER DOOR)		
A	EXTERIOR BUILDING ENTRY	1	MORTISED LOCK	PUSH/PULL BARS	3	CONT. GEARED	ADA SURFACE MTD	-	-	-	X	X	-	-	-	X	X	X	X	X	-	-	-	-	-	-	-
B	INTERIOR BUILDING ENTRY	1	MORTISED LOCK	PUSH/PULL BARS	3	CONT. GEARED	ADA SURFACE MTD	-	-	-	X	X	-	-	-	X	X	X	X	X	-	-	-	-	-	-	X
C	EXTERIOR/INTERIOR UNIT ENTRY	1	KEY ACCESS	ADA LEVER	3	BALL BEARING	ADA SURFACE MTD	-	-	-	-	-	-	-	-	X	X	X	X	X	-	-	-	-	-	-	-
D	INTERIOR OFFICE	1	OFFICE LOCK	ADA LEVER	3	BALL BEARING	-	-	-	-	-	-	-	-	-	X	X	X	X	X	-	-	-	-	-	-	X
E	OFFICE BATHROOM	1	CLASSROOM LOCK	ADA LEVER	3	BALL BEARING	ADA SURFACE MTD	-	-	-	-	-	-	-	-	X	X	X	X	X	-	-	-	-	-	-	X
F	MECHANICAL	1	STOREROOM LOCKSET	ADA LEVER	3	BALL BEARING	ADA SURFACE MTD	-	-	-	-	-	-	-	-	X	X	X	X	X	-	-	-	-	-	-	X
G	STORAGE (DOUBLE)	2	STOREROOM LOCKSET	ADA LEVER	3	BALL BEARING	ADA SURFACE MTD	-	-	-	-	-	-	-	-	X	X	X	X	X	-	-	-	-	-	-	X
H	JANITOR'S CLOSET	1	STOREROOM LOCKSET	ADA LEVER	3	FR BALL BEARING	ADA SURFACE MTD	-	-	-	-	-	-	-	-	X	X	X	X	X	-	-	-	-	-	-	X
J	RESIDENTIAL BEDROOM, BATHROOM	1	PRIVATE LOCK, LATCH BOLT	ADA LEVER	3	FR BALL BEARING	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	X
K	INTERIOR CLOSET (SINGLE DOOR)	1	PASSAGE LOCK	ADA LEVER	3	BALL BEARING	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	X
L	INTERIOR METER/DATA COMM.	2	STOREROOM LOCKSET, DUMPY TRIM	ADA LEVER	3	FR BALL BEARING	-	-	-	-	-	-	-	-	-	X	X	X	X	X	-	-	-	-	-	-	X
M	BI-FOLD CLOSETS	2	DUMPY TRIM AND BULLET CATCH	ADA LEVER	3	PLAN BEARING	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	X
N	INTERIOR STAIR	1	STOREROOM/EXIT LOCK	ADA LEVER	3	BALL BEARING	ADA SURFACE MTD	-	-	-	-	-	-	-	-	X	X	X	X	X	-	-	-	-	-	-	X

NOTE: 1) G.C. TO REVIEW AND OBTAIN APPROVAL OF FINAL HARDWARE LOCKING AND KEYING FROM OWNER

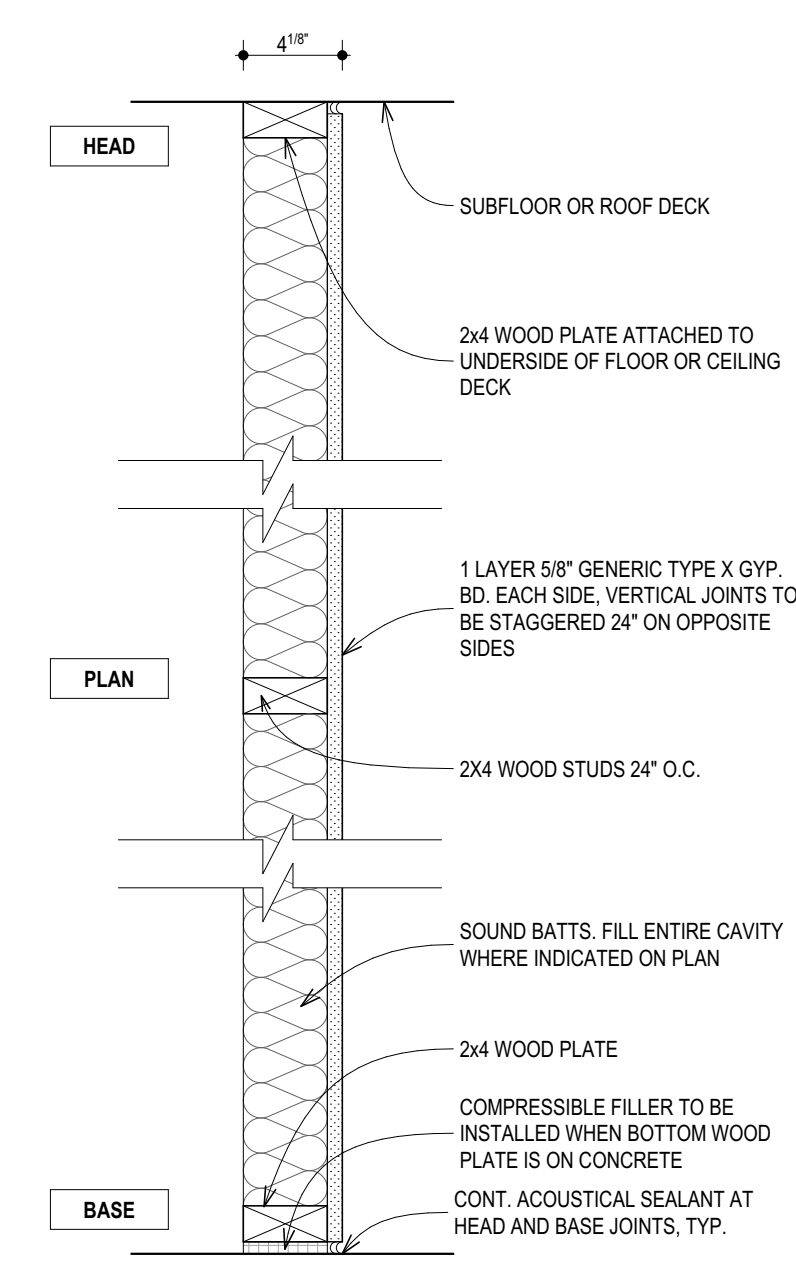
### TYPICAL HARDWARE NOTES

THE FOLLOWING ARE MINIMUM REQUIREMENTS. MORE STRINGENT SPECIFICATIONS AND DRAWINGS WOULD APPLY.

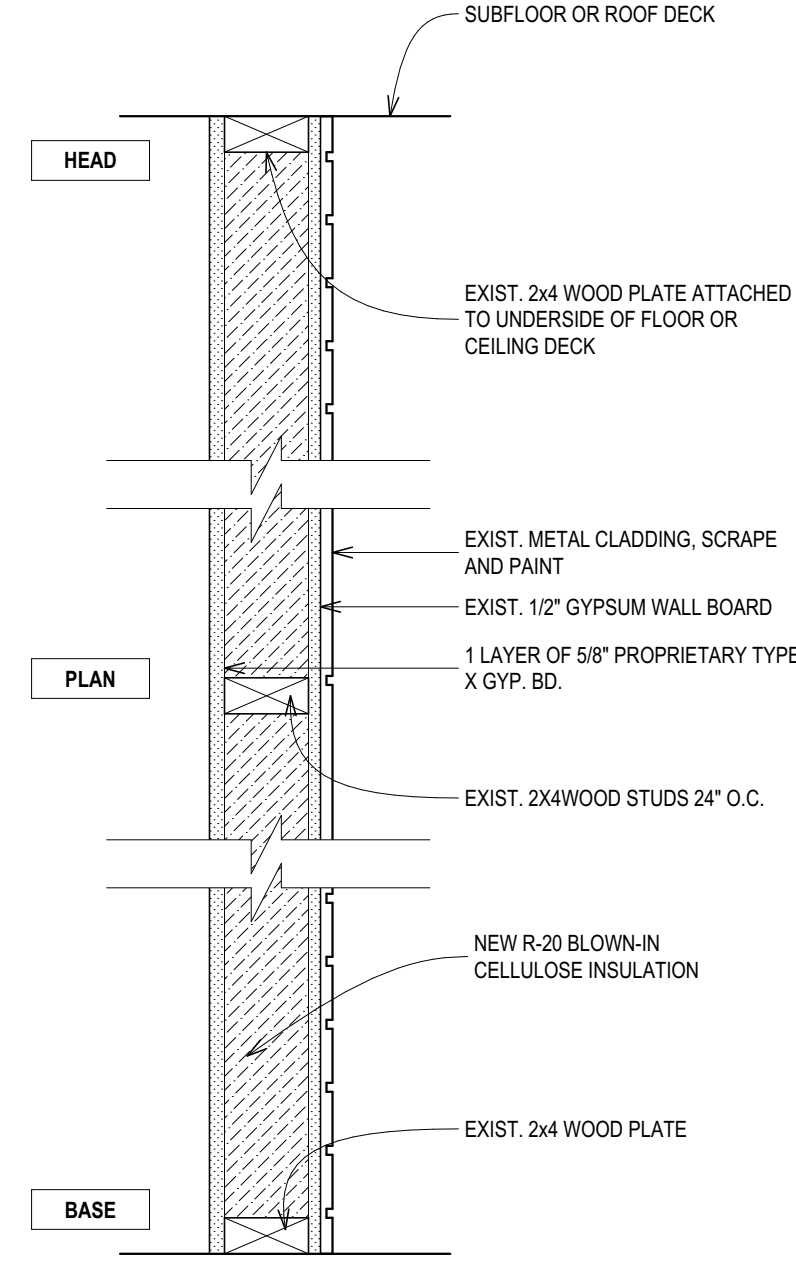
1. ALL EXIT DOORS IN THE DIRECTION OF TRAVEL SHALL BE OPERABLE FROM THE INSIDE WITHOUT KEYS OR SPECIAL KNOWLEDGE.
2. ALL EXTERIOR AND SOLID WOOD DOORS SHALL HAVE SILENCERS.
3. FIRE LABEL DOORS SHALL HAVE SELF-CLOSERS AND HAVE FIRE RATED HARDWARE TO MAINTAIN THE INTEGRITY OF THE ASSEMBLY.
4. TYPICAL DOOR STOPS SHALL BE SPRING BASE MOUNTED. WHEN DOORS CAN INTERSECT WITH OTHER DOORS OR OBSTRUCTIONS, DOOR STOPS SHALL BE HINGE MOUNTED (DOOR SAVER VARIETY OR APPROVED EQUAL), AT BUILDING ENTRES AND SOME UNIT ENTRIES, DOOR STOPS SHALL BE FLOOR MOUNTED.
5. ALL



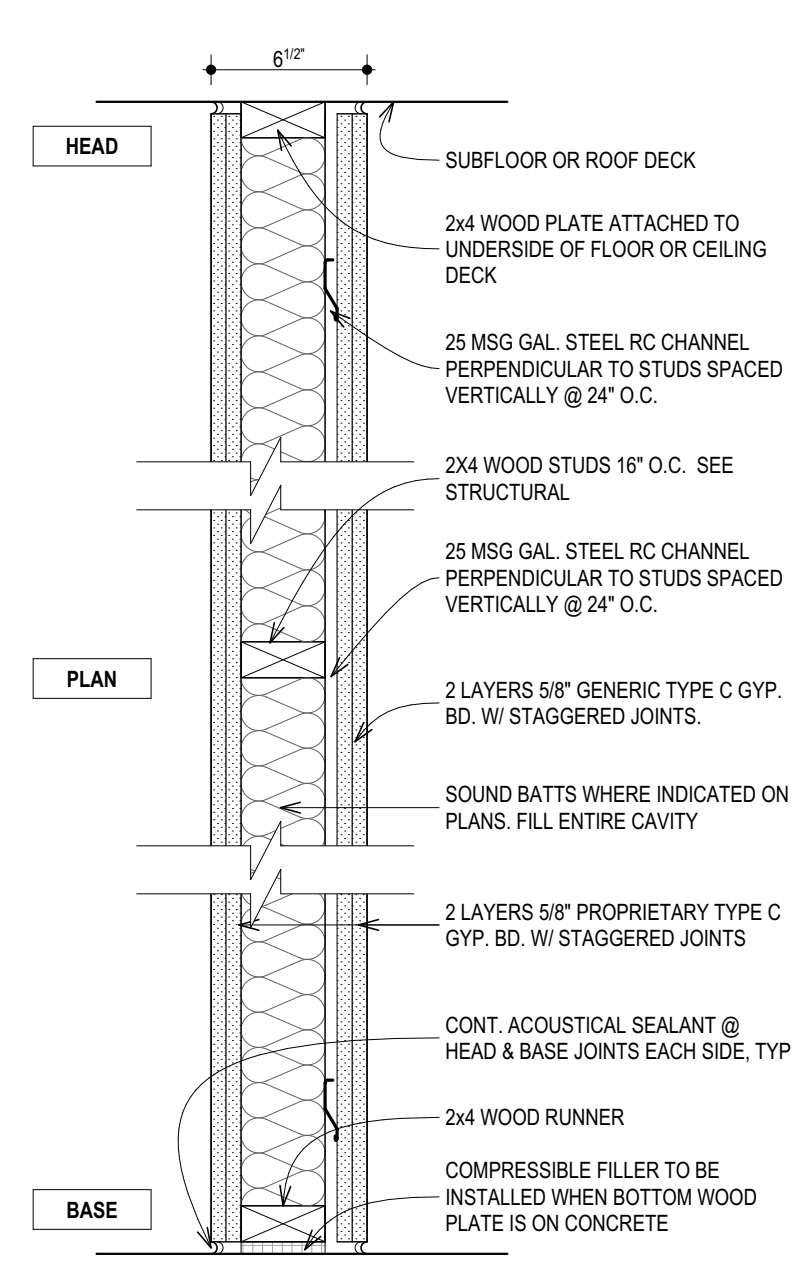
**a** 2X4 INTERIOR WALL (NOT RATED)  
**b** 2X6 INTERIOR WALL (NOT RATED)



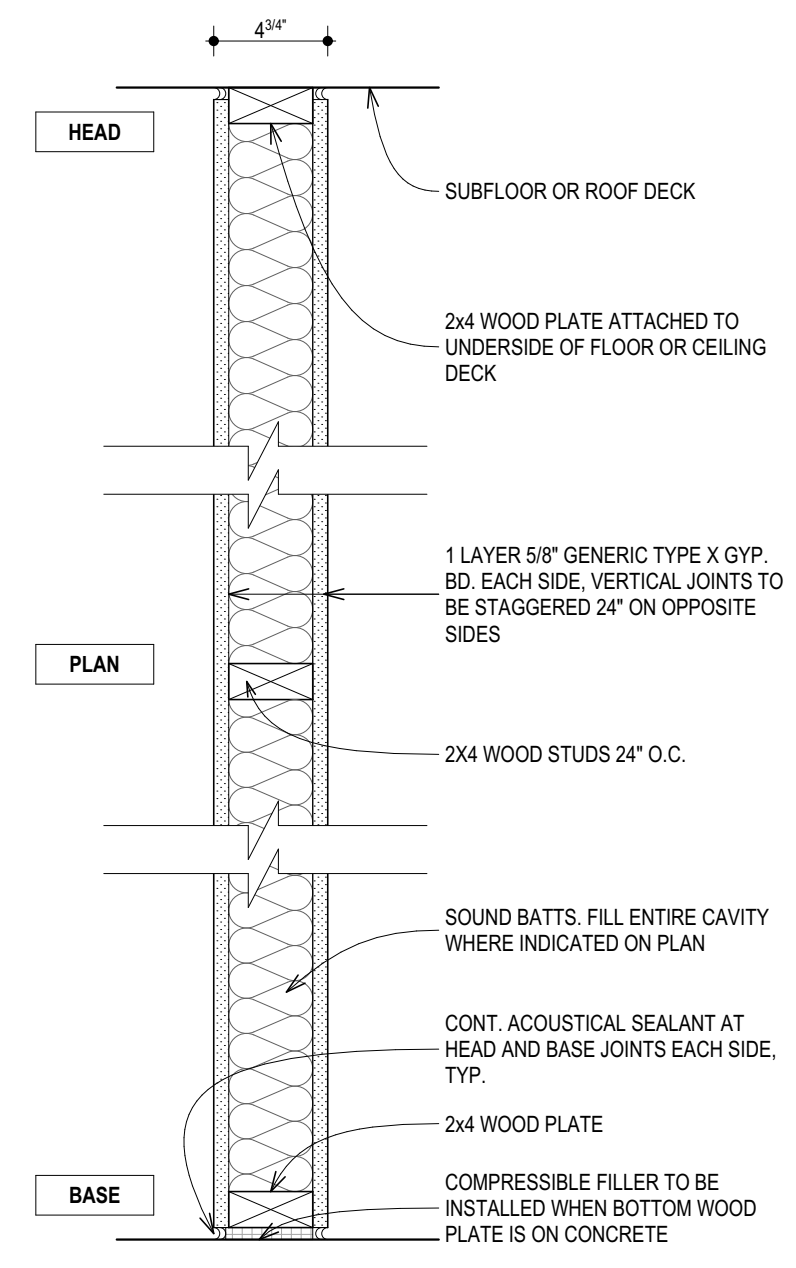
**c** 2X4 INTERIOR PLUMBING WALL (NOT RATED)



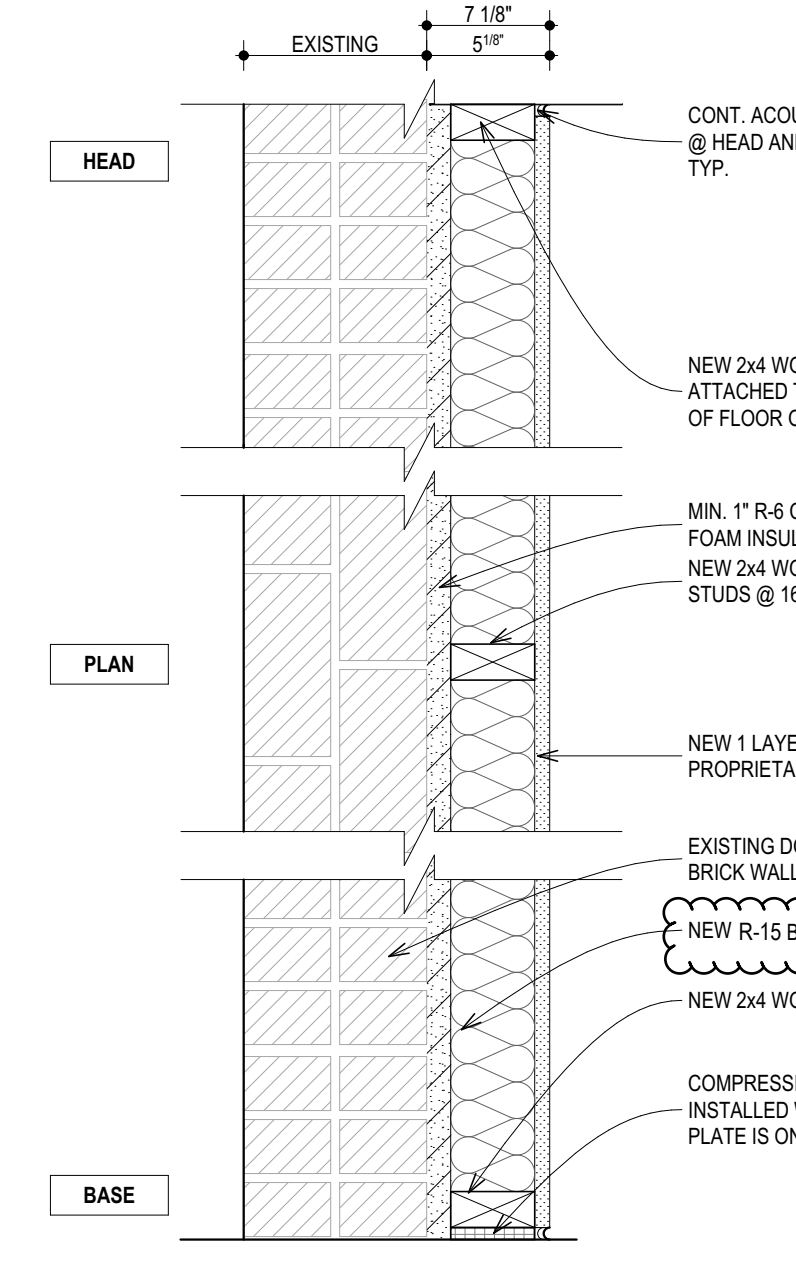
**1d** 1 HOUR HUD FIRE RATING - W-4-W-35 EXTERIOR NON - BEARING EXIST. STUD WALL + NEW INSULATION AND GYP. BD.



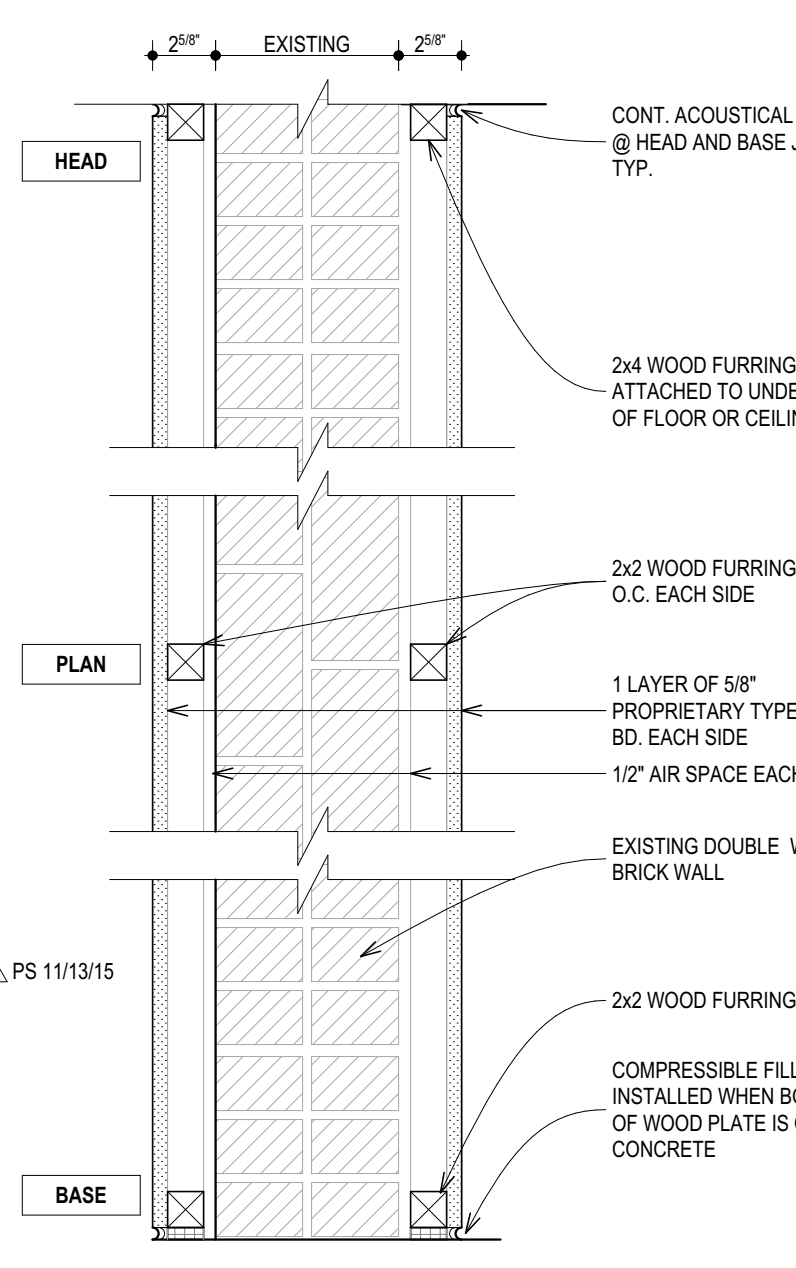
**2a** UL U334 - 2 HOUR INTERIOR NON - BEARING USE WITH FIRESTOP FS1



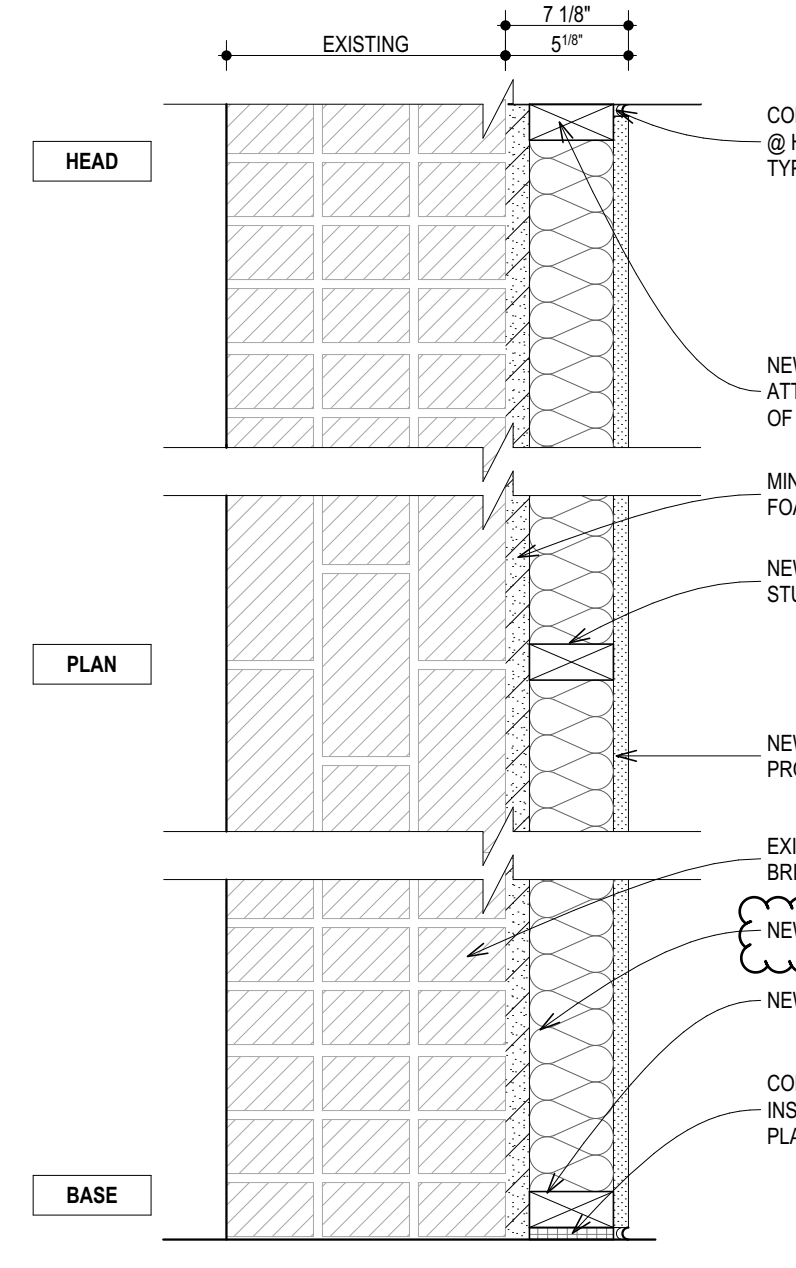
**1a** UL U333 1 HOUR INTERIOR STAIR WALL 2X4 WOOD STUD  
**1b** UL U309 1 HOUR INTERIOR DEMISING WALL 2X6 WOOD STUD  
**1c** UL U309 1 HOUR EXISTING DEMISING WALL 2X4 EXIST. WOOD STUD + NEW GYP. BD.



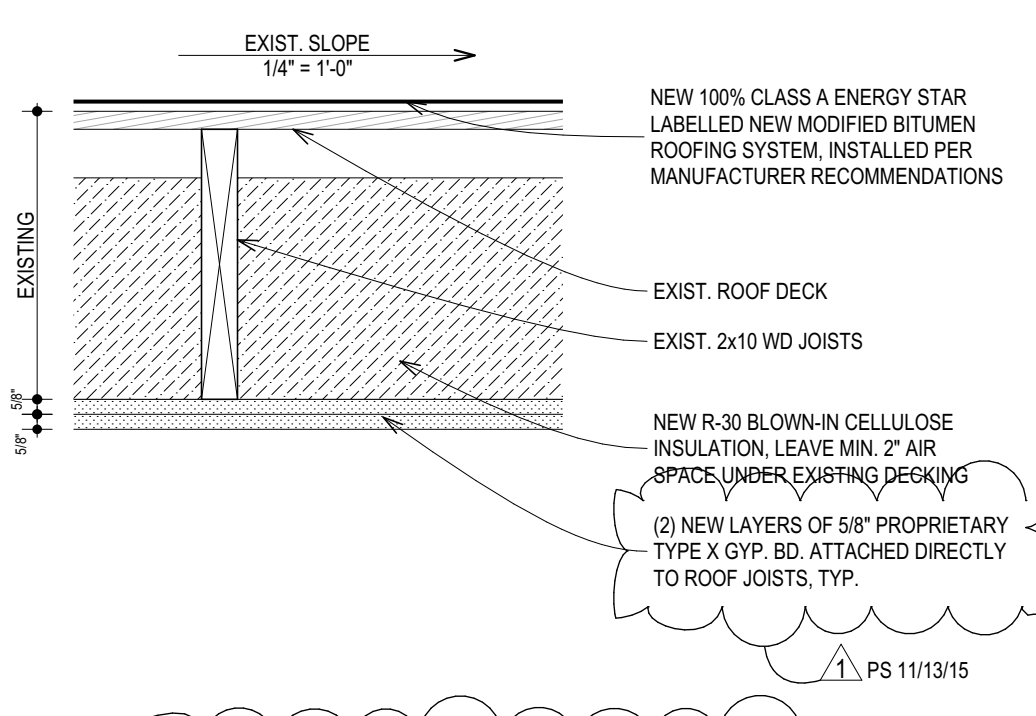
**5a** 10 HOUR HUD FIRE RATING - W-12-M-1 EXTERIOR NON - BEARING EXIST. DOUBLE WYTHE BRICK + NEW 2X4 WD STUD  
**5b** 2X6 WD AT PLUMBING WALL STUD



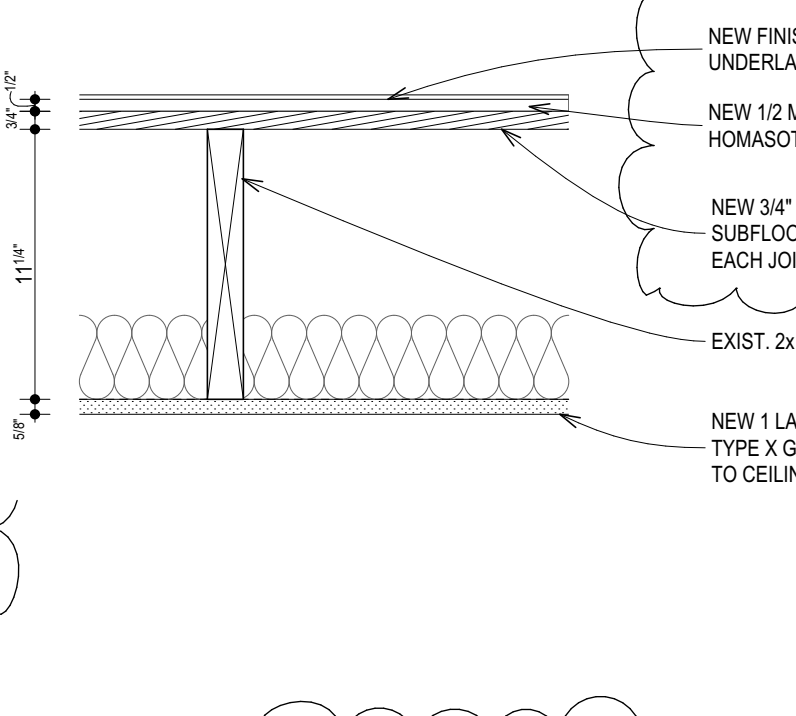
**5c** 5 HOUR HUD FIRE RATING - W-8-M-19 INTERIOR DEMISING WALL EXIST. DOUBLE WYTHE BRICK + NEW 2X2 WD FURRING



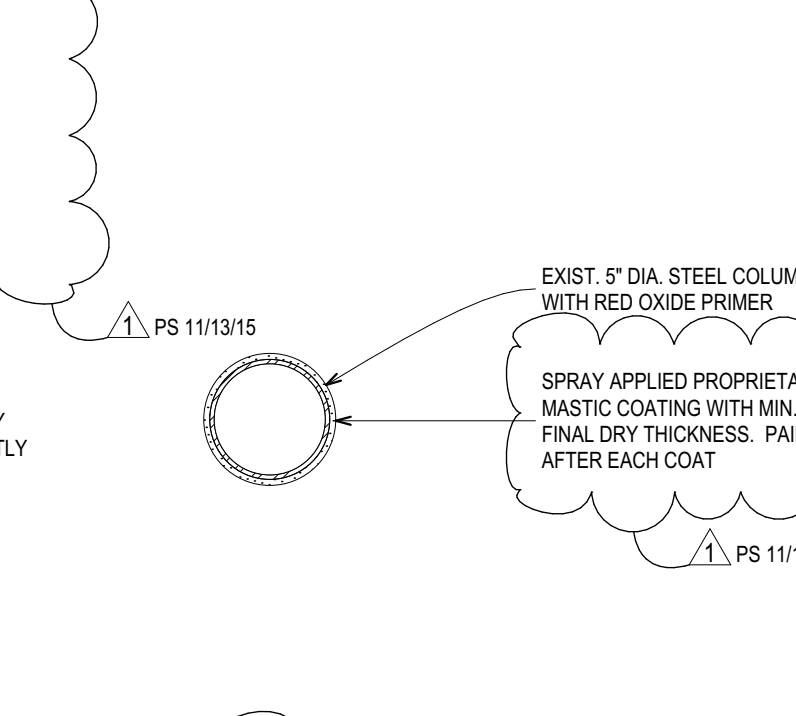
**10a** 10 HOUR HUD FIRE RATING - W-12-M-1 EXTERIOR BEARING / NON-BEARING EXIST. TRIPLE WYTHE BRICK + NEW 2X4 WD STUD  
**10b** 2X6 WD AT PLUMBING WALL STUD



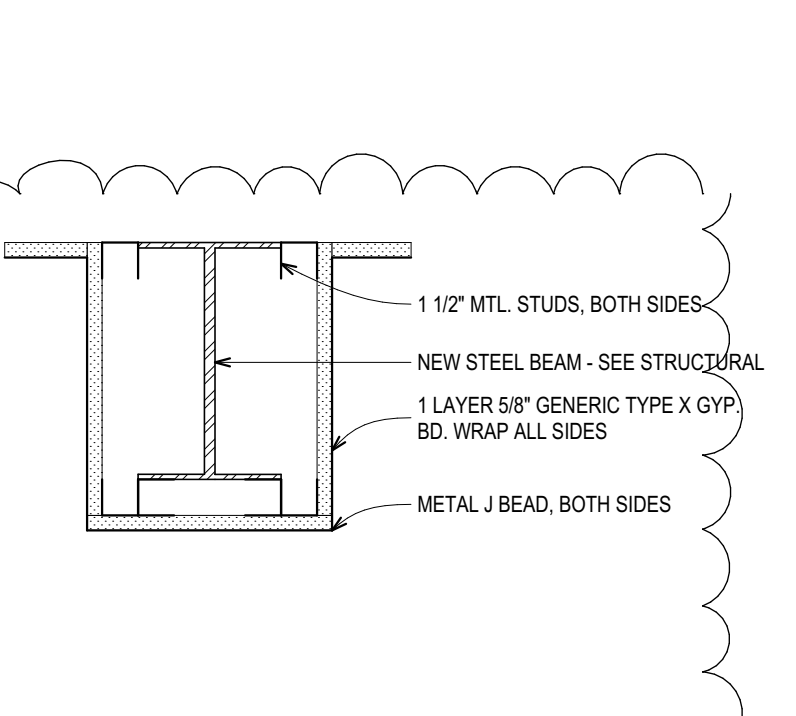
**R1** GA FILE NO. RC 2601 1 HOUR ROOF ASSEMBLY - USE WITH FIRESTOP FS2



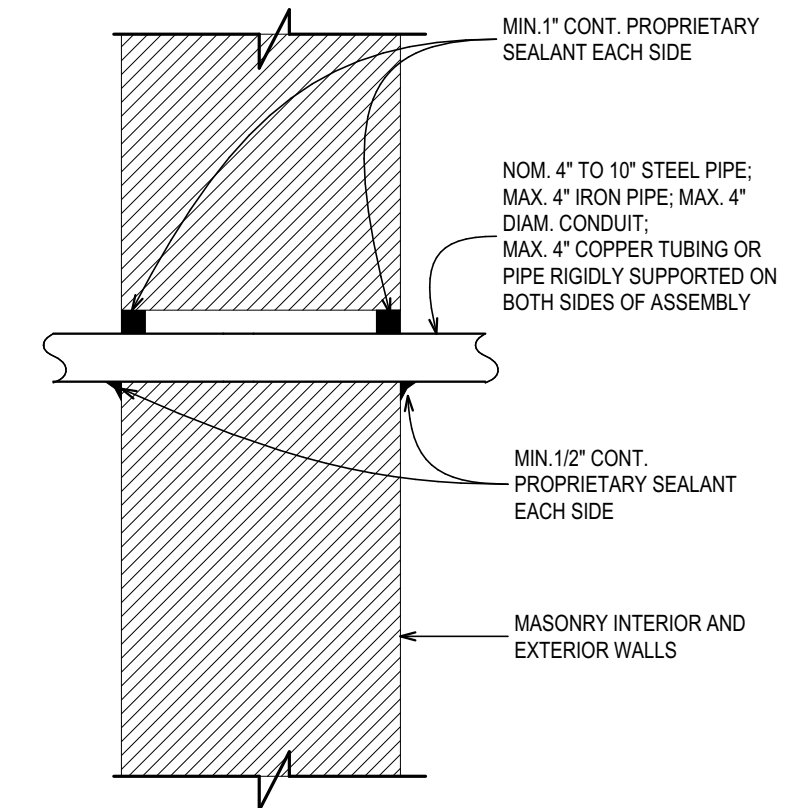
**F1** UL L501 1 HOUR FLOOR ASSEMBLY - USE WITH FIRESTOP FS2



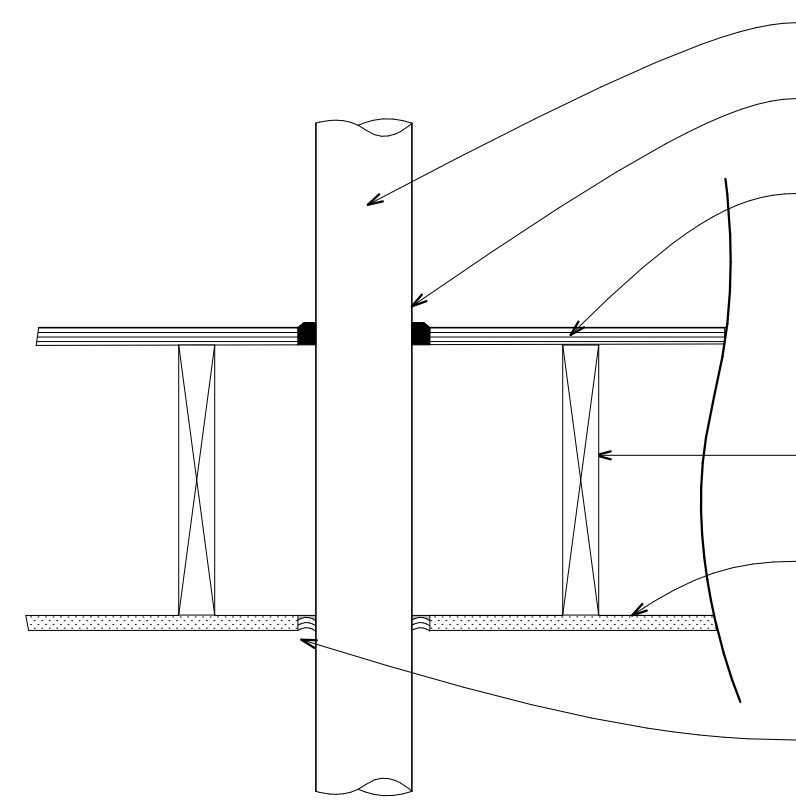
**C1** UL X631 1 HOUR COLUMN



**B1** 1 HOUR BEAM ENCLOSURE - BEAM ASSEMBLY PART OF FLOOR ASSEMBLY AS ALLOWED BY CBC CLARIFICATIONS & INTERPRETATIONS TYPE III-B CONSTRUCTION, ONE-HOUR FLOOR SYSTEM



**FS1** FIRESTOP FOR ALL MASONRY WALLS UL DES W-J-1063 F RATING 2 HOUR, 3 HOUR, 4 HOUR T RATING 0 HOUR



**FS2** FIRESTOP FOR ALL MASONRY WALLS UL DES W-J-1063 F RATING 2 HOUR, 3 HOUR, 4 HOUR T RATING 0 HOUR

**TYPICAL ASSEMBLY NOTES**

THE FOLLOWING ARE MINIMUM REQUIREMENTS. MORE STRINGENT SPECIFICATIONS AND DRAWINGS WOULD APPLY.

REFER TO REFERENCED FIRE RATING STANDARDS AND DIRECTORIES FOR ADDITIONAL CONSTRUCTION, MATERIAL, AND MANUFACTURER REQUIREMENTS. PROVIDE FIRE SEALANT AND DAMPERS AS REQUIRED PER THE REFERENCED STANDARDS. WHERE THE WORD "PROPRIETARY" APPEARS IN SYSTEM DESCRIPTIONS, EITHER THE SYSTEM OR ONE OR MORE OF ITS COMPONENTS IS CONSIDERED PROPRIETARY. EACH PROPRIETARY SYSTEM SHALL BE BUILT UTILIZING THE COMPONENTS SPECIFIED BY THE COMPANY OR COMPANIES LISTED UNDER THE DETAILED DESCRIPTION FOR THAT SYSTEM IN THE REFERENCED DIRECTORIES.

INSULATION AND SOUND ATTENUATION SHALL BE INSTALLED IN THE ENTIRE LENGTH AND HEIGHT OF WALL, FLOOR, OR ROOF UNLESS INDICATED OTHERWISE. INSULATION AND ATTENUATION SHALL BE CONTINUOUS AND UNINTERRUPTED WITHIN CAVITIES. DO NOT COMPRESS INSULATION SMALLER THAN THE CAVITY SPACE.

ALL RIGID INSULATION SHALL HAVE A FLAME SPREAD RATING OF 25 OR LESS AND A SMOKE DEVELOPED RATING OF NOT MORE THAN 450 UNLESS INDICATED OTHERWISE. SEAL JOINTS WITH APPROPRIATE FOIL TAPE IN ALL FIRE RATED ASSEMBLIES.

ELECTRICAL DEVICES ON OPPOSITE SIDES OF FIRE RATED WALLS AND PARTITIONS SHALL BE IN SEPARATE STUD CAVITIES AND SHALL BE SEPARATED BY A MINIMUM HORIZONTAL DISTANCE OF 24". JUNCTION BOXES SHALL BE AIRTIGHT AND SEALED.

INSTALL FIRESTOPPING TO CUT OFF CONCEALED DRAFT OPENINGS AND FORM FIRE BARRIERS VERTICALLY AND HORIZONTALLY. FIRESTOPPING SHALL BE NONCOMBUSTIBLE OR MIN. 2" NOMINAL LUMBER IN OPEN SPACES OF WOOD FRAMING.

USE NON-PAPER FACED BACKING MATERIALS SUCH AS CEMENT BOARD, FIBER CEMENT BOARD, (OR APPROVED EQUAL) WHERE INDICATED AND AT BATHROOMS AT TUB SURROUNDS AND UNDER CERAMIC TILE FLOORING. USE MOISTURE RESISTANT GREEN BOARD AT REMAINING BATHROOM WALLS AND CEILINGS, KITCHEN WET WALLS, ALL WALLS AND CEILING RECEIVING EPOXY PAINT AND AT WALLS WITHIN 5'-0" OF PLUMBING FIXTURES.

MAINTAIN FIRE RATING OF ASSEMBLIES AND PROVIDE A CONTINUOUS AND SEALED SOLID SURFACE BEHIND ALL SHOWERS AND TUBS, FIREPLACES, ATTIC KNEE WALLS, SKYLIGHT SHAFT WALLS, WALLS ADJOINING PORCH ROOFS, STAIRCASE WALLS, DOUBLE WALLS, GARAGE WALLS ADJACENT TO CONDITIONED SPACES, FLOORS ABOVE GARAGES, CANTILEVERED FLOORS, FLOORS ABOVE UNCONDITIONED BASEMENTS / VENTED CRAWL SPACES AND SOFFITS BELOW UNCONDITIONED ROOFS.

PROVIDE A FULL EXTERIOR DRAINAGE PLANE. ANY SEAMS IN THE DRAINAGE PLANE SHALL BE OVERLAPPED AND TAPED. ALL PENETRATIONS SHALL BE SEALED OR TAPED. SHIPLAP EDGES AND ENDS OF VAPOR BARRIERS, AIR INFILTRATION BARRIERS AND FLASHING PER THE MANUFACTURERS' RECOMMENDATIONS (MIN 6" REQUIRED IF NOT DEFINED).

**IMPLEMENT ADVANCED FRAMING TECHNIQUES:**

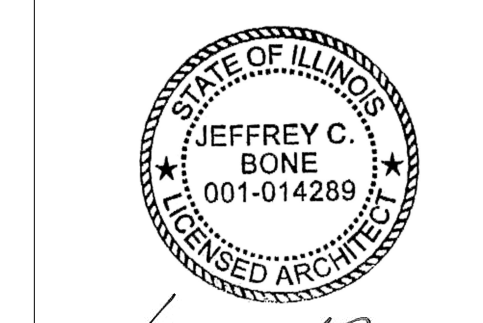
- NO MORE THAN 5% OF STUDS MAY LACK AN APPARENT STRUCTURAL PURPOSE
- ALL CORNERS SHALL BE CONSTRUCTED SO THEY ALLOW FOR A MIN. R-8 TO THE EXTERIOR WALL SHEATHING
- ALL HEADERS SHALL BE CONSTRUCTED SO THEY ALLOW FOR MIN. R-13 INSULATION
- FRAMING SHALL BE LIMITED AT ALL WINDOWS AND DOORS
- ALL INTERIOR / EXTERIOR WALL INTERSECTIONS SHALL BE INSULATED TO THE SAME R-VALUE AS THE REST OF THE EXTERIOR WALL

**TYPICAL SEALANT NOTES**

PROVIDE AIR SEALING AT THE FOLLOWING LOCATIONS IN THE THERMAL ENVELOPE (FIBROUS INSULATION CANNOT BE USED TO SEAL GAPS):

- PENETRATIONS IN THE THERMAL ENVELOPE SHALL BE FULLY SEALED WITH SOLID BLOCKING AND GAPS SEALED WITH CAULK OR FOAM. PENETRATING HOLES SHALL BE NO MORE THAN 1" LARGER IN DIAMETER THAN THE PENETRATING OBJECT TO ALLOW FOR PROPER AIR SEALING. SEAL WHERE INDICATED AND AT THE FOLLOWING LOCATIONS:
  - DUCT / FLUE SHAFT, ALSO SEAL ALL DUCT BOOTS TO FLOORS, WALLS AND CEILINGS
  - PLUMBING / PIPING
  - ELECTRICAL WIRING / DEVICES
  - BATHROOM AND KITCHEN EXHAUST FANS
  - RECESSED LIGHTING FIXTURES ADJACENT TO UNCONDITIONED SPACE, ICAT LABELED AND FULLY GASKETED. IF IN INSULATED CEILING WITHOUT ATTIC ABOVE, EXTERIOR SURFACE OF FIXTURE SHALL BE INSULATED TO MIN. R-10
  - CHIMNEYS
- SEAL ALL JOINTS, SEAMS AND CRACKS AND OPENINGS AT THE THERMAL ENVELOPE. SEAL WHERE INDICATED AND AT THE FOLLOWING LOCATIONS:
  - SILL PLATES AND RUNNERS IN THE THERMAL ENVELOPE SHALL BE SEALED TO THE FOUNDATION AND SUBFLOORS. ADDITIONALLY, FOAM GASKETS ARE TO BE PLACED BENEATH SILL PLATE
  - IF RESTING AT OR CONCRETE OR MASONRY
  - DRYWALL AT THE THERMAL ENVELOPE SHALL BE SEALED TO TOP AND BOTTOM PLATES AND RUNNERS.
  - ATTIC / ROOF DRYWALL SHALL BE SEALED TO THE TOP PLATE AT THE INTERFACE OF ALL EXTERIOR AND INTERIOR WALLS.
  - DRYWALL AT THE THERMAL ENVELOPE SHALL BE SEALED TO THE DRYWALL AT THE INTERSECTING CORNERS OF INTERIOR WALLS AND DEMISING WALLS.
  - ROUGH OPENINGS AROUND WINDOWS AND EXTERIOR DOORS SHALL BE SEALED WITH CAULK OR LOW-EXPANSION FOAM.
  - RIM JOISTS IN THE THERMAL ENVELOPE SHALL BE SEALED TO THE SUBFLOOR.
  - SILL PLATES IN THE THERMAL ENVELOPE SHALL BE SEALED TO THE RIM JOISTS.
  - ATTIC ACCESS PANELS, HATCHES, AND WHOLE HOUSE FANS SHALL BE EQUIPPED WITH GASKETED COVER WHICH IS INSULATED TO THE SAME LEVEL AS THE REST OF THE ASSEMBLY.

SEAL ALL WALL, FLOOR, AND JOINT PENETRATIONS WITH CAULK TO PREVENT PEST ENTRY. PROVIDE METAL RODENT / CORROSION PROOF SCREENS FOR OPENINGS OVER 1/4".



I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED UNDER MY SUPERVISION AND THAT THEY COMPLY TO THE BEST OF MY KNOWLEDGE, WITH ALL THE BUILDING CODES AND ORDINANCES OF THE CITY OF CHICAGO, IL.

06/30/2015  
08/20/2015  
11/13/2015

ISSUED FOR BRICING  
ISSUED FOR PERMITS  
ISSUED FOR PERMIT REVISION

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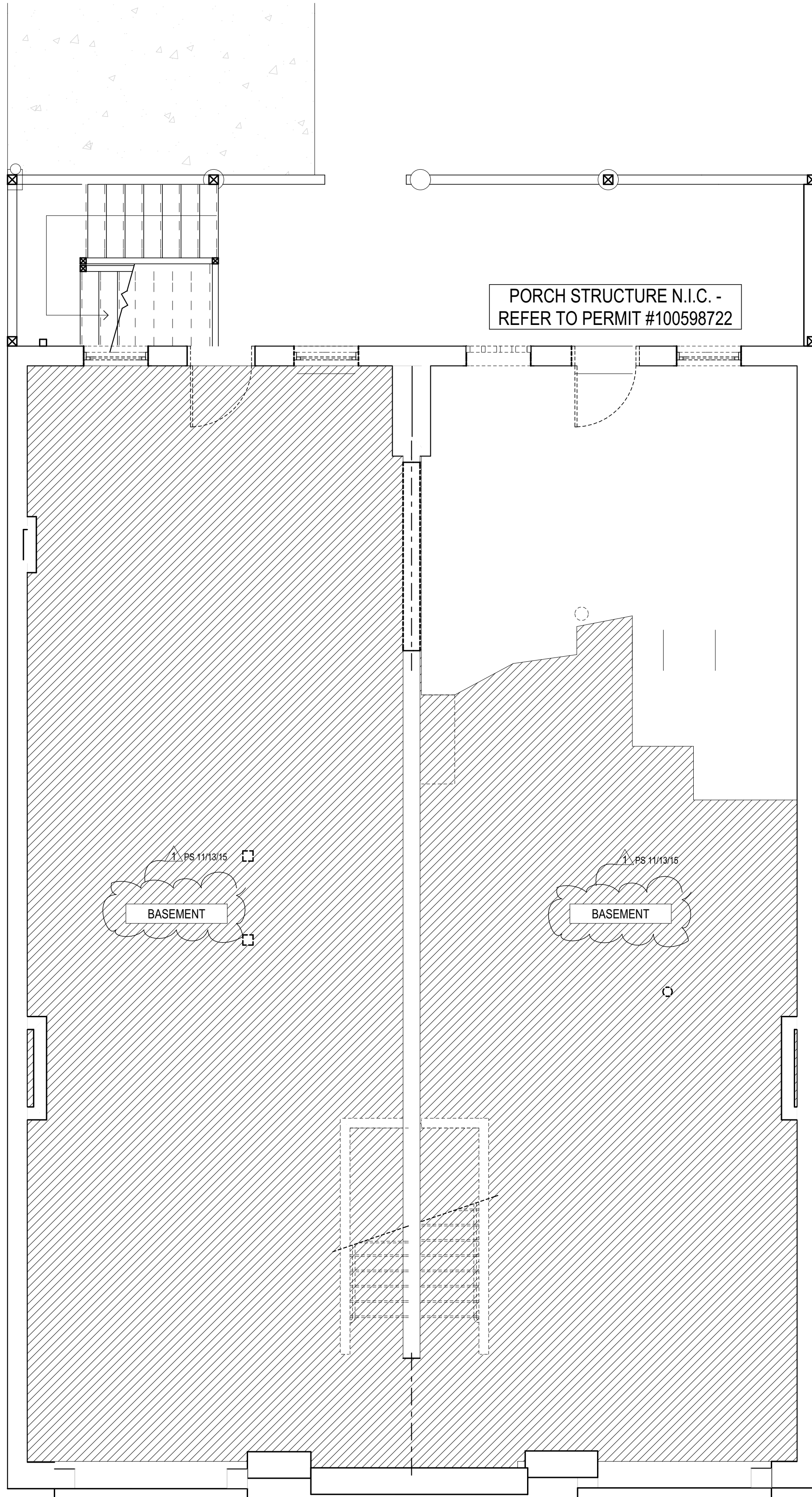
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9805 S Ewing Ave  
Chicago IL 60617

**1505**

**Assemblies**

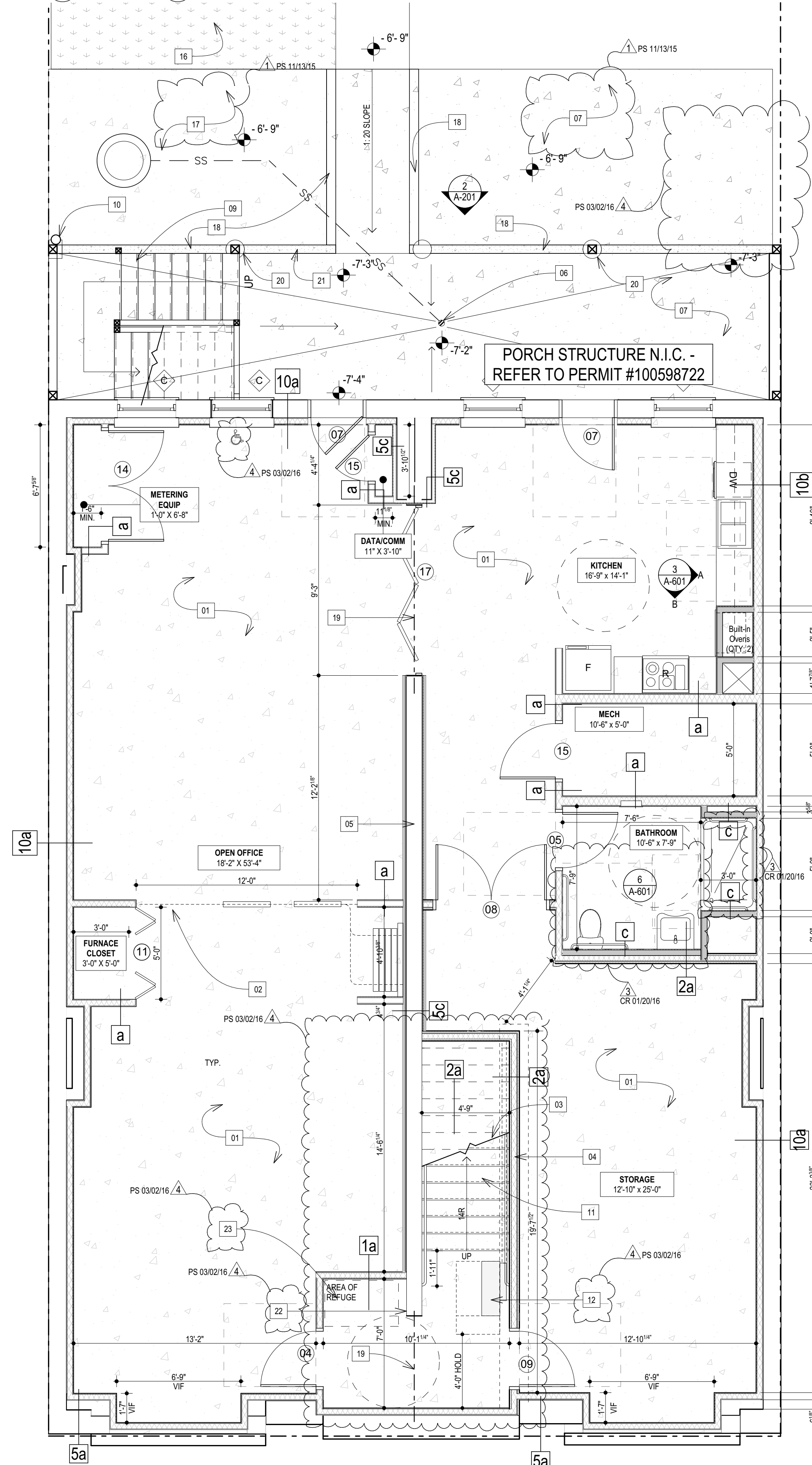
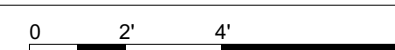
**A-005**

Markup Name	Markup Text	Markup Date	File Name	Action	First Name	Last Name	Email Address
8 AC	MUST PROVIDE VERTICAL ACCESS TO THIS OFFICE IF THIS OFFICE IS FOR BUSINESS USE.	1/15/2016	A 101 Basement Plan and Demolition Plan 100611935.pdf	Vertical access to basement and 1st floor office space is provided via lift on the back porch. See key note 08 on Sheet A101 and A102	Felipe	Torres	felipe.torres@cityofchicago.org



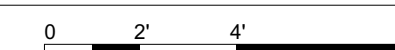
2 Basement Demolition Plan

SCALE: 1/4" = 1'-0"



1 Basement Plan

SCALE: 1/4" = 1'-0"



**WALL KEY**

- NEW WALL
- EXISTING WALL OR PARTITION TO REMAIN
- EXISTING DRYWALL TO BE REMOVED DOWN TO EXIST. WOOD STUDS AND/OR FURRING ONLY
- EXISTING DOOR TO BE REMOVED
- EXISTING EQUIPMENT OR FIXTURE TO BE REMOVED. COORDINATE WITH MECH. ELEC. & PLUMBING SHEETS
- EXISTING WINDOW TO BE REMOVED
- EXISTING AREA OF FLOOR TO BE REMOVED

**TYP PLAN NOTES**

- 1) REFER TO ASSEMBLY SHEETS FOR CONSTRUCTION AND REQUIRED FIRE RATINGS. ALL INTERIOR WALLS ARE WALL TYPE "B" UNLESS INDICATED OTHERWISE.
- 2) ALL DOORS SHALL BE LOCATED 4" FROM A FINISHED WALL UNLESS INDICATED OTHERWISE.
- 3) ALL TOILETS SHALL BE LOCATED 18" FROM THE FINISHED WALL UNLESS INDICATED OTHERWISE.
- 4) ALL RANGES/OVERN SHALL HAVE SHALL HAVE A PRIMED AND PAINTED MDF SOFFIT ABOVE FOR MECHANICAL VENTING. SOFFIT TO EXTEND 12" OVER CABINET BELOW.
- 5) ALL CLOSETS AND STORAGE ROOMS SHALL HAVE A ROUND AND A MINIMUM OF ONE 12" DEEP SHELF (SEE ACTUAL CONFIGURATIONS ON PLANS). ALL TYPES 504 UNITS, TYPE A ADAPTALTE UNITS, & NON-RESIDENTIAL COMMON SPACES SHALL HAVE AN ADDITIONAL SHELF AND ROD AT 48" AFF.
- 6) PROVIDE POSITIVE ROOF DRAINAGE. INSTALL PER MANUFACTURES BEST INSTALLATION PRACTICE. IF CONFLICT BETWEEN ARCHITECTURAL DETAILS AND MANUFACTURES DETAILS EXIST, NOTIFY ARCHITECT FOR FINAL DIRECTION.

W D

FRONT LOADING SIDE BY SIDE WASHER/DRYER CLOSET W/ DRAIN PAN, FLOOR DRAIN, AND 12" DEEP SHELF AND ROD AT 48" AFF. THE WASHING MACHINE SHALL ALWAYS BE ON THE LEFT SIDE OF THE LAUNDRY CLOSET TO ACCOMMODATE THE WASHING MACHINE DOOR HINGE. AT TYPE 504 UNITS, TYPE A ADAPTALTE UNITS, & NON-RESIDENTIAL COMMON LAUNDRY SPACES, OPERABLE PARTS SHOULD BE LOCATED BETWEEN 15'-48" AFF. AND INCLUDE APPLIANCE DOORS, LENT SCREENS, DETERGENT AND BLEACH COMPARTMENTS. THE BOTTOM OF THE OPENING TO THE LAUNDRY COMPARTMENT BETWEEN 15" TO 34" AFF.

ACCESSIBLE WINDOW WITH A MIN. 30" X 48" CLEAR FLOOR SPACE FOR A PARALLEL OR FORWARD APPROACH. CONTROLS WITH 15'-48" AFF. AND 5 lb MAX FORCE TO ACTIVATE ALL OPERABLE PARTS.

MECHANICAL CLOSET W/ FLOOR DRAIN

WINDOW TAG REFER TO WINDOW SCHEDULES.

DOOR TAG REFER TO DOOR SCHEDULES.

**PLAN KEYED NOTES**

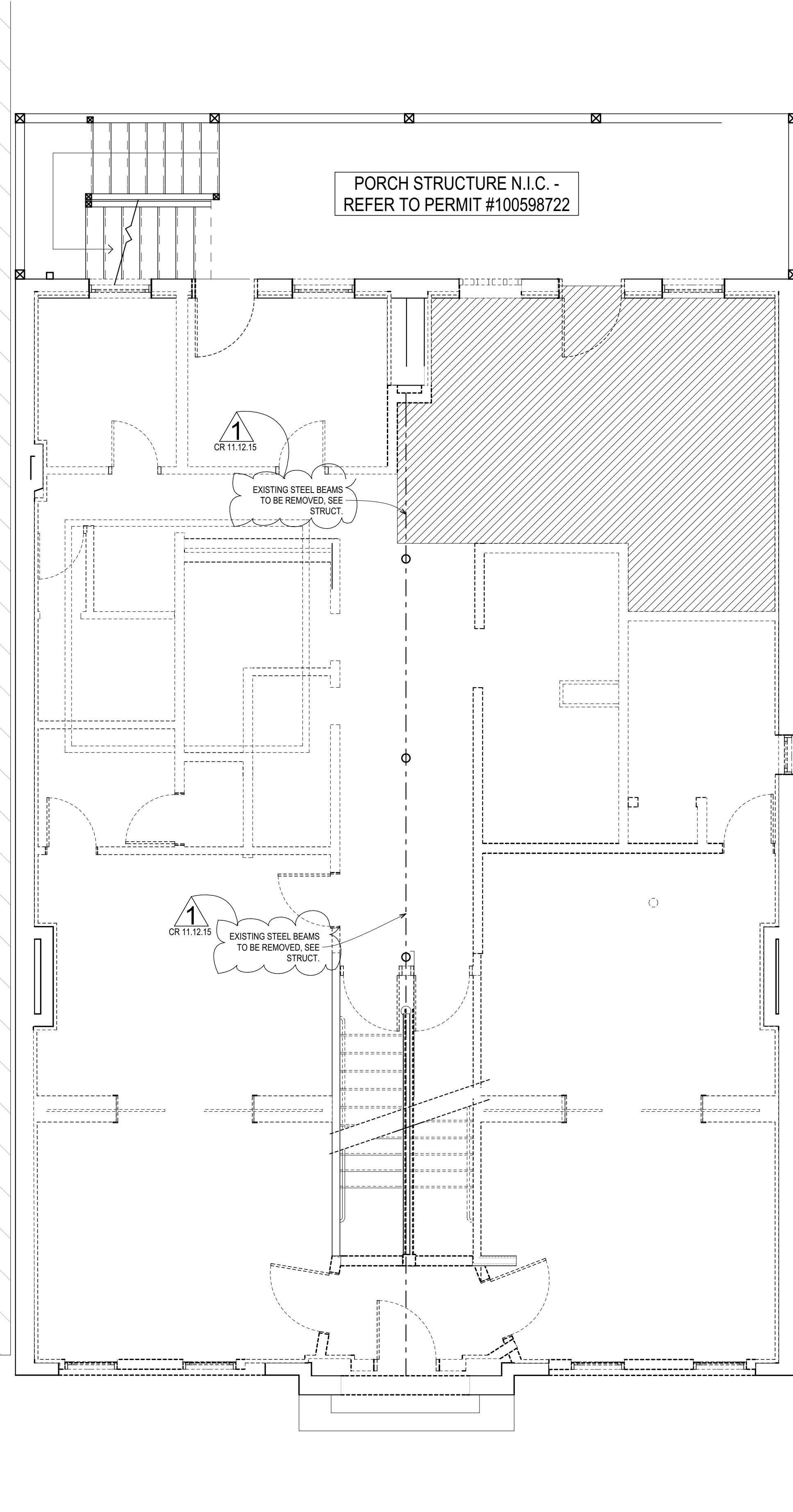
- 01 NEW 4" CONCRETE SLAB ON GRADE WITH VAPOR BARRIER. REFER TO STRUCTURAL.
- 02 NEW FOLDING PANEL WALL, "PANELFOLD" MODULFLEX 410PP OR SIMILAR.
- 03 NEW CONCRETE FOUNDATION WALL AT BEARING WALL, SEE STRUCTURAL.
- 04 NEW BEARING WALL, SEE STRUCTURAL.
- 05 EXISTING LOAD BEARING BRICK WALL TO REMAIN TO BE FURRED OUT AND FINISHED WITH GYP. BD.
- 06 NEW AREA DRAIN, CONNECT TO EXISTING UNDERGROUND SEWER
- 07 NEW CONCRETE PATIO, TO BE GRADED AS UNDERGO NEW AREA DRAIN.
- 08 NEW EXTERIOR WHEELCHAIR LIFT, BRUNO VPL 32 10B OR SIMILAR, PROVIDE NEW 4" CONCRETE PAD FOR LIFT INSTALLATION, REFER TO MANUFACTURER'S INSTALLATION INSTRUCTIONS FOR ADDITIONAL INFO.
- 09 NEW WOOD PORCH, BY OTHERS.
- 10 NEW 6" DOWNSPOUT AND BOOT, TO BE CONNECTED TO EXISTING STORM SEWER
- 11 NEW WOOD STAIRS AND HANDRAILS, REFER TO FINISH SCHEDULE FOR FINISHES.
- 12 NEW INCLINED PLATFORM LIFT, MAINTAIN 3'-0" CLEARANCE WIDTH WHEN FOLDED UP, SEE ELEC.
- 13 NEW FIRE RATED, MDF CORE WITH BIRCH PLYWOOD VENEER CEILING PANELS.
- 14 RE-USE SALVAGED POCKET DOOR PANELS IN NEW POCKET OPENING, PROVIDE TRACK IN FLOOR OR A TOP OF DOOR AND ALL NECESSARY HARDWARE AS REQUIRED FOR OPERABLE SLIDING POCKET DOORS.
- 15 UNDERCOUNTER REFRIGERATOR.
- 16 EXISTING LAWN TO REMAIN, REPAIR AS NEEDED
- 17 EXISTING CONCRETE PATIO TO REMAIN
- 18 NEW 6-INCH CONCRETE CURB
- 19 NEW STEEL BEAM, REFER TO STRUCTURAL
- 20 NEW PORCH FOOTINGS, BY OTHERS
- 21 REMOVE DAMAGED CLAY DOWNSPOUT BOOT
- 22 PAINT EXISTING MASONRY WALL, COLOR TO BE SELECTED BY ARCHITECT
- 23 PROVIDE TWO-WAY COMMUNICATION WITH BOTH VISIBLE AND AUDIBLE SIGNALS BETWEEN AREA OF RESCUE ASSISTANCE AND THE PRIMARY ENTRY. EACH AREA OF RESCUE ASSISTANCE SHALL BE IDENTIFIED BY A SIGN WHICH STATES "AREA OF RESCUE ASSISTANCE" AND DISPLAYS THE INTERNATIONAL SYMBOL FOR ACCESSIBILITY. SIGN SHALL BE ILLUMINATED WHEN EXIT SIGN ILLUMINATION IS REQUIRED.

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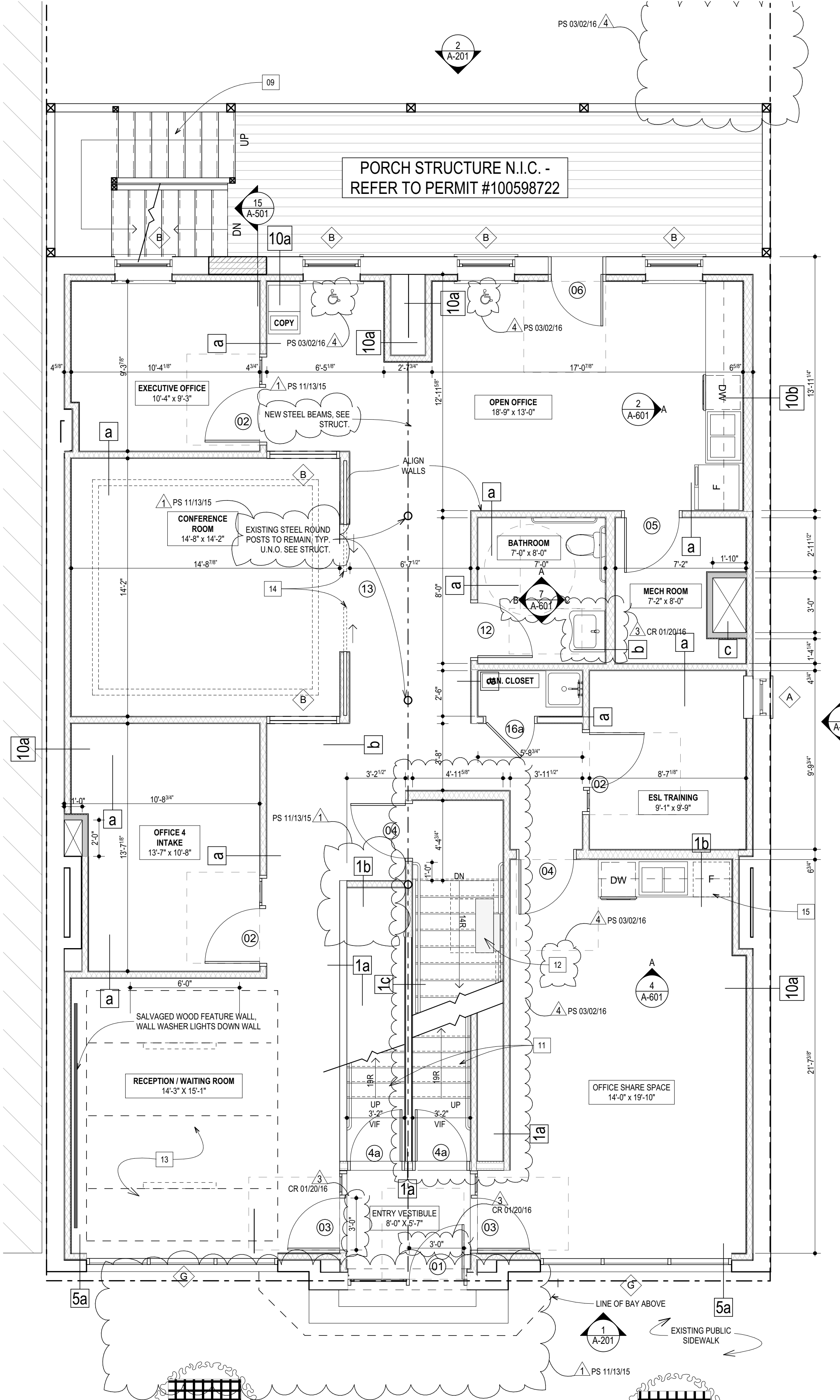
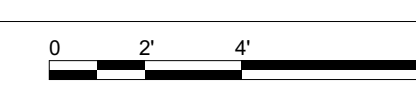
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03/03/2016	08/20/2016	11/13/2016	01/11/2016	01/20/2016	03/02/2016

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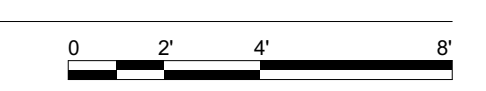
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**1505**  
**Basement Plan and Demolition Plan**  
**A-101**



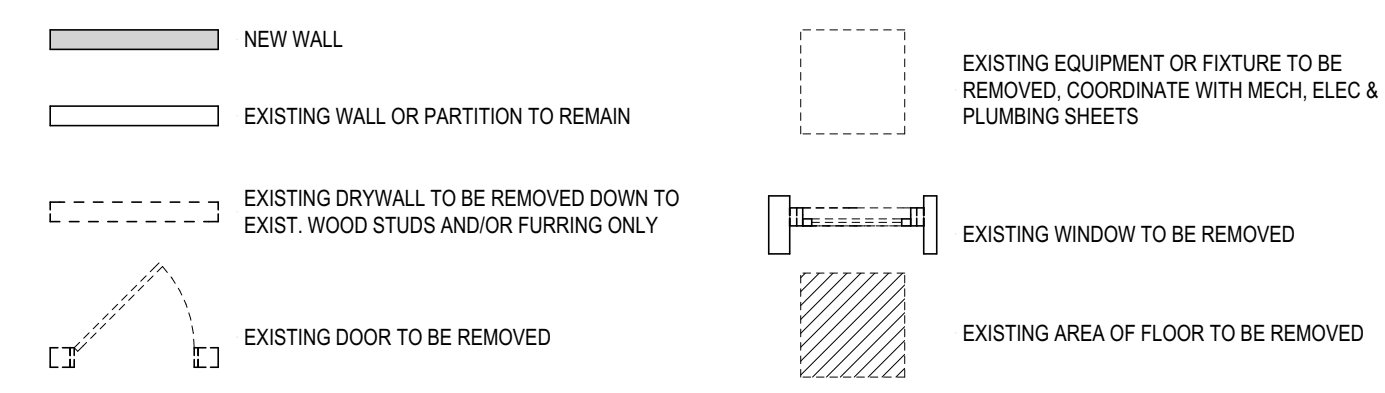
**2** 1st Floor Demolition Plan  
SCALE: 1/4" = 1'-0"



**1** First Floor Plan  
SCALE: 1/4" = 1'-0"



**WALL KEY**



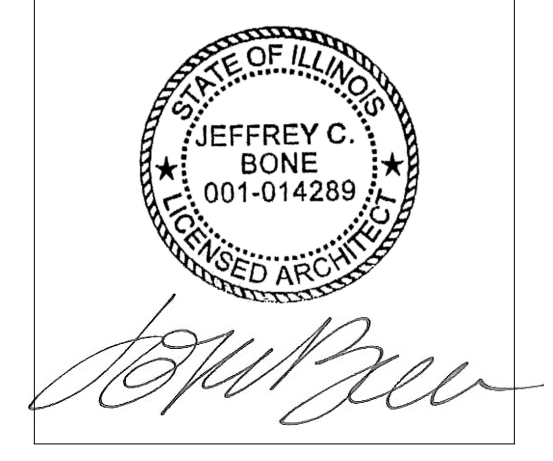
**TYP PLAN NOTES**

- REFER TO ASSEMBLY SHEETS FOR CONSTRUCTION AND REQUIRED FIRE RATINGS. ALL INTERIOR WALLS ARE WALL TYPE "A" UNLESS INDICATED OTHERWISE.
  - ALL DOORS SHALL BE LOCATED 4" FROM A FINISHED WALL UNLESS INDICATED OTHERWISE.
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- FRONT LOADING SIDE BY SIDE WASHER/DRYER CLOSET W/ DRAIN PAN, FLOOR DRAIN, AND 12" DEEP SHELF AND ROD AT 48" AFF. THE WASHING MACHINE SHALL ALWAYS BE ON THE LEFT SIDE OF THE LAUNDRY CLOSET TO ACCOMMODATE THE WASHING MACHINE DOOR HINGE. AT TYPE 004 UNITS, TYPE A ADAPTIVE UNITS, & NON-RESIDENTIAL COMMON LAUNDRY SPACES, OPERABLE PARTS SHOULD BE LOCATED BETWEEN 15" - 48" AFF. AND INCLUDING APPLIANCE DOORS, LENT SCREENS, DETERGENT AND BLEACH COMPARTMENTS. THE BOTTOM OF THE OPENING TO THE LAUNDRY COMPARTMENT BETWEEN 15" TO 34" AFF.
- ACCESSIBLE WINDOW WITH A MIN. 30" X 48" CLEAR FLOOR SPACE FOR A PARALLEL OR FORWARD APPROACH. CONTROLS WITH 15" - 48" AFF. AND 5 lb MAX FORCE TO ACTIVATE ALL OPERABLE PARTS.
- MECHANICAL CLOSET W/ FLOOR DRAIN
- WINDOW TAG REFER TO WINDOW SCHEDULES.
- DOOR TAG REFER TO DOOR SCHEDULES.

**PLAN KEYED NOTES**

- NEW 4" CONCRETE SLAB ON GRADE WITH VAPOR BARRIER. REFER TO STRUCTURAL.
- NEW FOLDING PANEL WALL, "PANELFOLD" MODUFLX 410PP OR SIMILAR.
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- NEW BEARING WALL, SEE STRUCTURAL.
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- NEW CONCRETE PATIO, TO BE GRADED AS NEEDED TO PITCH TOWARDS NEW AREA DRAIN.
- NEW EXTERIOR WHEELCHAIR LIFT, BRUNO VPL 32-10B OR SIMILAR, PROVIDE NEW 4" CONCRETE PAD FOR LIFT INSTALLATION, REFER TO MANUFACTURER'S INSTALLATION INSTRUCTIONS FOR ADDITIONAL INFO.
- NEW WOOD PORCH, BY OTHERS.
- NEW 6" DOWNSPOUT AND BOOT, TO BE CONNECTED TO EXISTING STORM SEWER.
- NEW WOOD STAIRS AND HANDRAILS, REFER TO FINISH SCHEDULE FOR FINISHES.
- NEW INCLINED PLATFORM LIFT, MAINTAIN 3'-0" CLEARANCE WIDTH WHEN FOLDED UP. SEE ELEC.
- NEW FIRE RATED, MDF CORE WITH BIRCH PLYWOOD VENEER CEILING PANELS.
- RE-USE SALVAGED POCKET DOOR PANELS IN NEW POCKET OPENING, PROVIDE TRACK IN FLOOR OR A TOP OF DOOR AND ALL NECESSARY HARDWARE AS REQUIRED FOR OPERABLE SLIDING POCKET DOORS.
- UNDERCOUNTER REFRIGERATOR.
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- EXISTING CONCRETE PATIO TO REMAIN.
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Marking Name	Marking Text	Marking Date	File Name	Action	First Name	Last Name	Email Address
A	EXISTING WALL TO REMAIN (SEE STRUCTURAL)	1/15/2016	A-100 First Floor Plan and Demolition Plan 100611931.pdf	See callout for Interior Elevations on Sheet A-100	John	Bone	john.bone@londonbonebaker.com
B	EXISTING WALL TO BE REMOVED DOWN TO EXIST. WOOD STUDS AND/OR FURRING ONLY	1/15/2016	B-100 First Floor Plan and Demolition Plan 100611931.pdf	See callout for Interior Elevations on Sheet A-100	John	Bone	john.bone@londonbonebaker.com
C	EXISTING WALL TO BE REMOVED	1/15/2016	C-100 First Floor Plan and Demolition Plan 100611931.pdf	See callout for Interior Elevations on Sheet A-100	John	Bone	john.bone@londonbonebaker.com
D	EXISTING DOOR TO BE REMOVED	1/15/2016	D-100 First Floor Plan and Demolition Plan 100611931.pdf	See callout for Interior Elevations on Sheet A-100	John	Bone	john.bone@londonbonebaker.com
E	EXISTING EQUIPMENT OR FIXTURE TO BE REMOVED, COORDINATE WITH MECH, ELEC & PLUMBING SHEETS	1/15/2016	E-100 First Floor Plan and Demolition Plan 100611931.pdf	See callout for Interior Elevations on Sheet A-100	John	Bone	john.bone@londonbonebaker.com
F	EXISTING WINDOW TO BE REMOVED	1/15/2016	F-100 First Floor Plan and Demolition Plan 100611931.pdf	See callout for Interior Elevations on Sheet A-100	John	Bone	john.bone@londonbonebaker.com
G	EXISTING AREA OF FLOOR TO BE REMOVED	1/15/2016	G-100 First Floor Plan and Demolition Plan 100611931.pdf	See callout for Interior Elevations on Sheet A-100	John	Bone	john.bone@londonbonebaker.com



I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED UNDER MY SUPERVISION AND THAT THEY COMPLY TO THE BEST OF MY KNOWLEDGE, WITH ALL THE BUILDING CODES AND ORDINANCES OF THE CITY OF CHICAGO, IL.

03/03/2016  
08/20/2016  
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01/20/2016  
03/02/2016

ISSUED FOR PERMIT REVISION 1  
ISSUED FOR PERMIT REVISION 2  
ISSUED FOR PERMIT REVISION 3  
ISSUED FOR PERMIT REVISION 4

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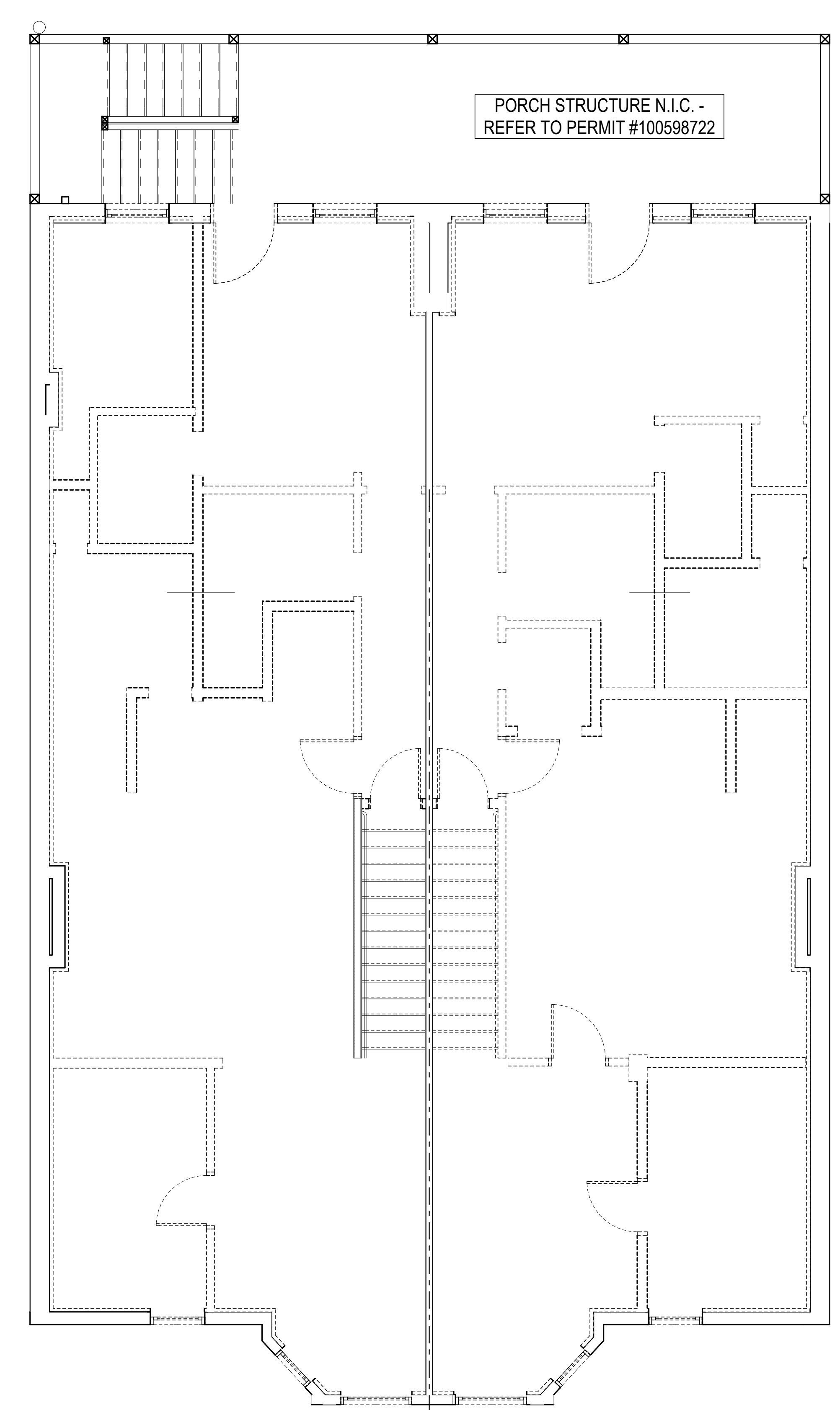
1505

First Floor Plan and Demolition Plan

**A-102**

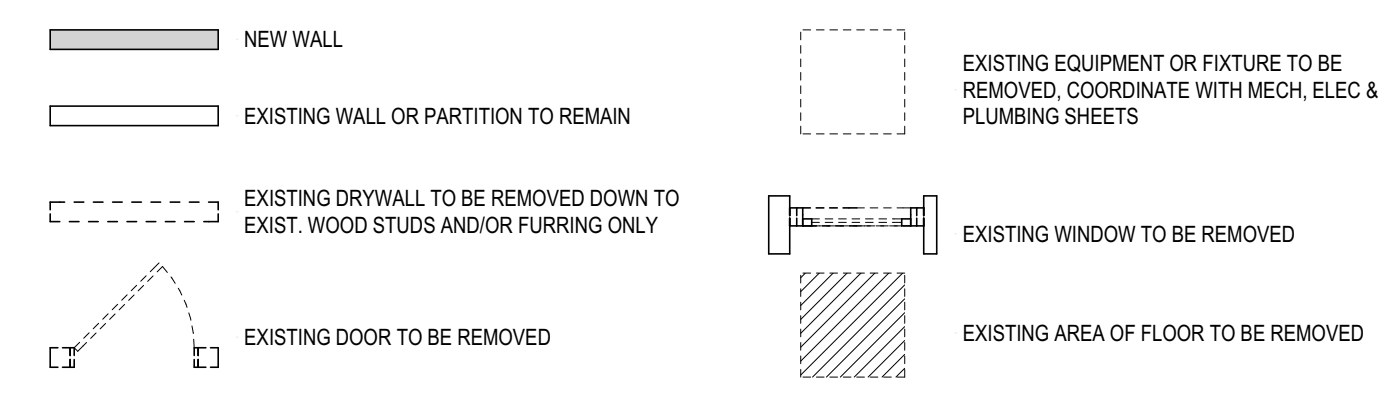


Arch	06/00/00 - Administrative Issues THIS KITCHEN/DINING DOES NOT MEET LIGHT AND VENT REQ.	10/21/2015	A 103 Second Floor Plan and Demolition Plan 100611935.pdf	THIS IS A KITCHEN SPACE ONLY, NO DINING, THEREFORE NO LIGHT/VENT REQ.	Oscar	Audifred	oscar.audifred@cityofchicago.org
FIRE PREVENTION	FROGS - Enclose stairs per 115-8-1103. STAIR DOORS TO BE MINIMUM 90 MINUTE FIRE RATED ASSEMBLIES.	10/21/2015	A 103 First Floor Plan and Demolition Plan 100611935.pdf	1 HR STAIR ENCLOSURE (C-LABEL DOOR) FOR BUILDINGS NOT EXCEEDING 3 STORES PER 15-8-140	Wayne	Michael	wayne_wayne_michael@cityofchicago.org
FIRE PREVENTION	FROGS - Enclose stairs per 115-8-1103. PROVIDE 1 HOUR PROTECTION TO UNDERSIDE OF STAIRS.	10/21/2015	A 103 Second Floor Plan and Demolition Plan 100611935.pdf	STAR ASSEMBLY S/A-501 REVISED TO SHOW FIREBLOCKING AND TYPE X RATED GYP. BD. FOR 1 HR PROTECTION PER C.C. CLARIFICATIONS & INTERPRETATIONS 6.2: 13-60-100	Wayne	Michael	wayne_wayne_michael@cityofchicago.org



**2** 2nd Floor Demolition Plan  
SCALE: 1/4" = 1'-0"

**WALL KEY**

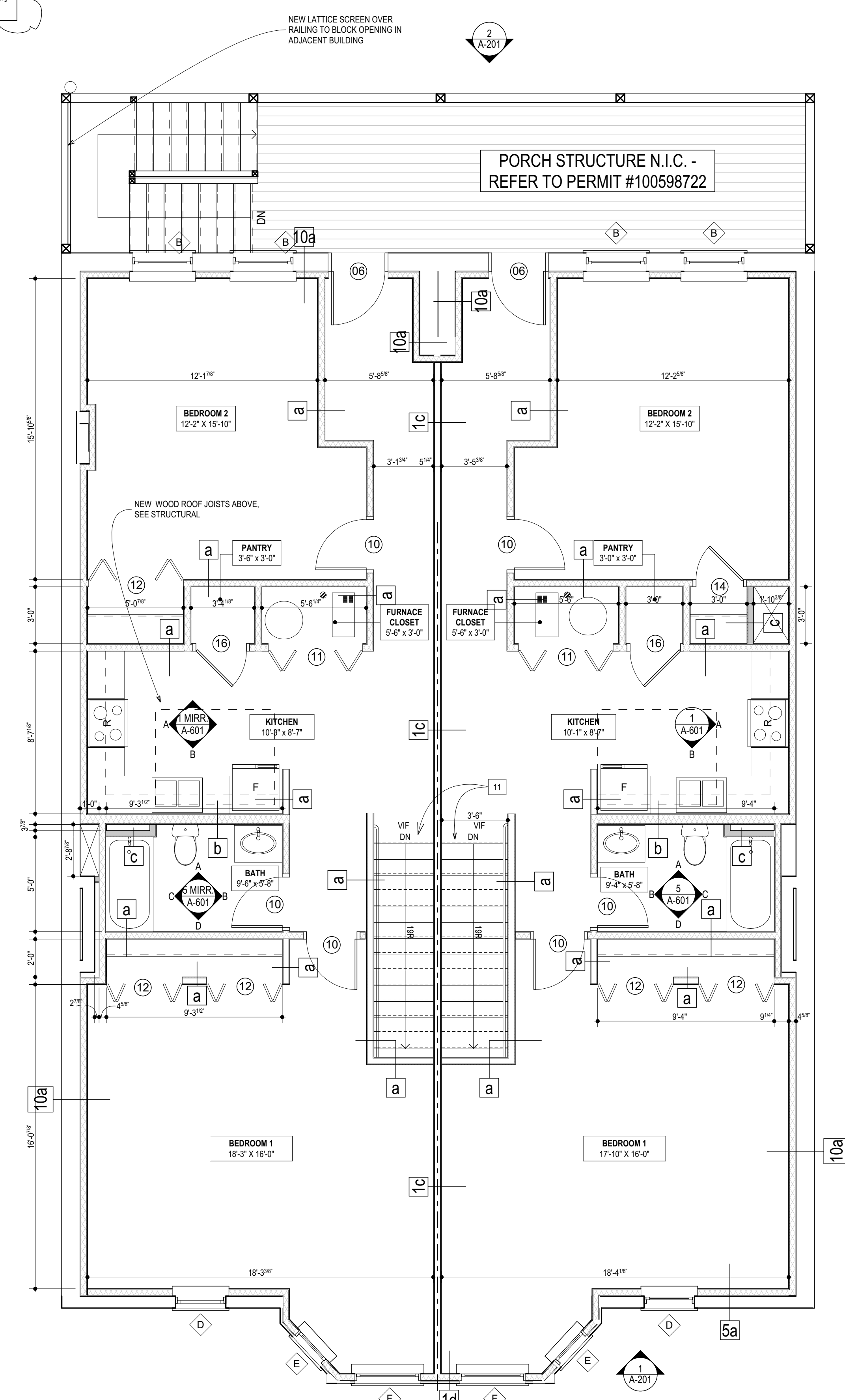


**TYP PLAN NOTES**

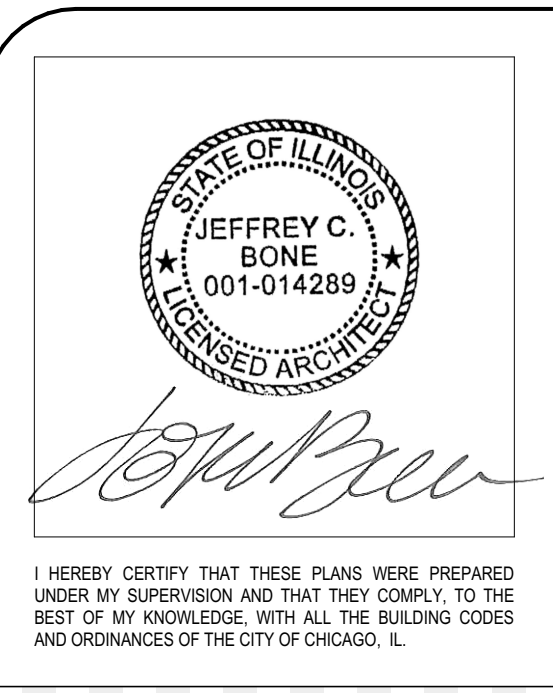
- REFER TO ASSEMBLY SHEETS FOR CONSTRUCTION AND REQUIRED FIRE RATINGS. ALL INTERIOR WALLS ARE WALL TYPE "1" UNLESS INDICATED OTHERWISE.
  - ALL DOORS SHALL BE LOCATED 4" FROM A FINISHED WALL UNLESS INDICATED OTHERWISE.
  - ALL TOILETS SHALL BE LOCATED 1" FROM THE FINISHED WALL UNLESS INDICATED OTHERWISE.
  - ALL RANGES/OVERN SHALL HAVE A PRIMED AND PAINTED MDF SOFFIT ABOVE FOR MECHANICAL VENTING. SOFFIT TO EXTEND 1/2" OVER CABINET BELOW.
  - ALL CLOSETS AND STORAGE ROOMS SHALL HAVE A ROUND A MINIMUM OF ONE 12" DEEP SHELF (SEE ACTUAL CONFIGURATIONS ON PLANS). ALL TYPES 504 UNITS. TYPE A ADAPTABLE UNITS, & NON-RESIDENTIAL COMMON SPACES SHALL HAVE AN ADDITIONAL SHELF AND ROD AT 48" AFF.
  - PROVIDE POSITIVE ROOF DRAINAGE. INSTALL PER MANUFACTURERS BEST INSTALLATION PRACTICE. IF CONFLICT BETWEEN ARCHITECTURAL DETAILS AND MANUFACTURERS DETAILS EXIST, NOTIFY ARCHITECT FOR FINAL DIRECTION.
- W D FRONT LOADING SIDE BY SIDE WASHER/DRYER CLOSET W/ DRAIN PAN, FLOOR DRAIN, AND 12" DEEP SHELF AND ROD AT 48" AFF. THE WASHING MACHINE SHALL ALWAYS BE ON THE LEFT SIDE OF THE LAUNDRY CLOSET TO ACCOMMODATE THE WASHING MACHINE DOOR HINGE. AT TYPE 504 UNITS, TYPE A ADAPTABLE UNITS, & NON-RESIDENTIAL COMMON LAUNDRY SPACES, OPERABLE PARTS SHOULD BE LOCATED BETWEEN 15"-48" AFF. AND INCLUDE APPLIANCE DOORS, LENT SCREENS, DETERGENT AND BLEACH COMPARTMENTS. THE BOTTOM OF THE OPENING TO THE LAUNDRY COMPARTMENT BETWEEN 15" TO 34" AFF.
- ACCESSIBLE WINDOW WITH A MIN. 30" X 48" CLEAR FLOOR SPACE FOR A PARALLEL OR FORWARD APPROACH. CONTROLS WITH 15"-48" AFF. AND 5 lb MAX FORCE TO ACTIVATE ALL OPERABLE PARTS.
- MECHANICAL CLOSET W/ FLOOR DRAIN
- WINDOW TAG REFER TO WINDOW SCHEDULES.
- DOOR TAG REFER TO DOOR SCHEDULES.

**PLAN KEYED NOTES**

- NEW 4" CONCRETE SLAB ON GRADE WITH VAPOR BARRIER. REFER TO STRUCTURAL.
- NEW FOLDING PANEL WALL, "PANELFOLD" MODULFLEX 410PP OR SIMILAR.
- NEW CONCRETE FOUNDATION WALL AT BEARING, WALL, SEE STRUCTURAL.
- NEW BEARING WALL, SEE STRUCTURAL.
- EXISTING LOAD BEARING BRICK WALL TO REMAIN TO BE FURRED OUT AND FINISHED WITH GYP. BD.
- NEW AREA DRAIN, CONNECT TO EXISTING UNDERGROUND SEWER
- NEW CONCRETE PATIO, TO BE GRADED AS NEEDED TO PITCH TOWARDS NEW AREA DRAIN.
- NEW EXTERIOR WHEELCHAIR LIFT, BRUNO VPL 32-10B OR SIMILAR, PROVIDE NEW 4" CONCRETE PAD FOR LIFT INSTALLATION, REFER TO MANUFACTURER'S INSTALLATION INSTRUCTIONS FOR ADDITIONAL INFO.
- NEW WOOD PORCH, BY OTHERS.
- NEW 6" DOWNSPOUT AND BOOT, TO BE CONNECTED TO EXISTING STORM SEWER
- NEW WOOD STAIRS AND HANDRAILS, REFER TO FINISH SCHEDULE FOR FINISHES.
- NOT USED
- NEW FIRE RATED, MDF CORE WITH BIRCH PLYWOOD VENEER CEILING PANELS.
- RE-USE SALVAGED POCKET DOOR PANELS IN NEW POCKET OPENING, PROVIDE TRACK IN FLOOR OR A TOP OF DOOR AND ALL NECESSARY HARDWARE AS REQUIRED FOR OPERABLE SLIDING POCKET DOORS.
- UNDERCOUNTER REFRIGERATOR.
- EXISTING LAWN TO REMAIN, REPAIR AS NEEDED
- EXISTING CONCRETE PATIO TO REMAIN
- NEW 6-INCH CONCRETE CURB
- NEW STEEL BEAM, REFER TO STRUCTURAL
- NEW PORCH FOOTINGS, BY OTHERS
- REMOVE DAMAGED CLAY DOWNSPOUT BOOT



**1** Second Floor Plan  
SCALE: 1/4" = 1'-0"



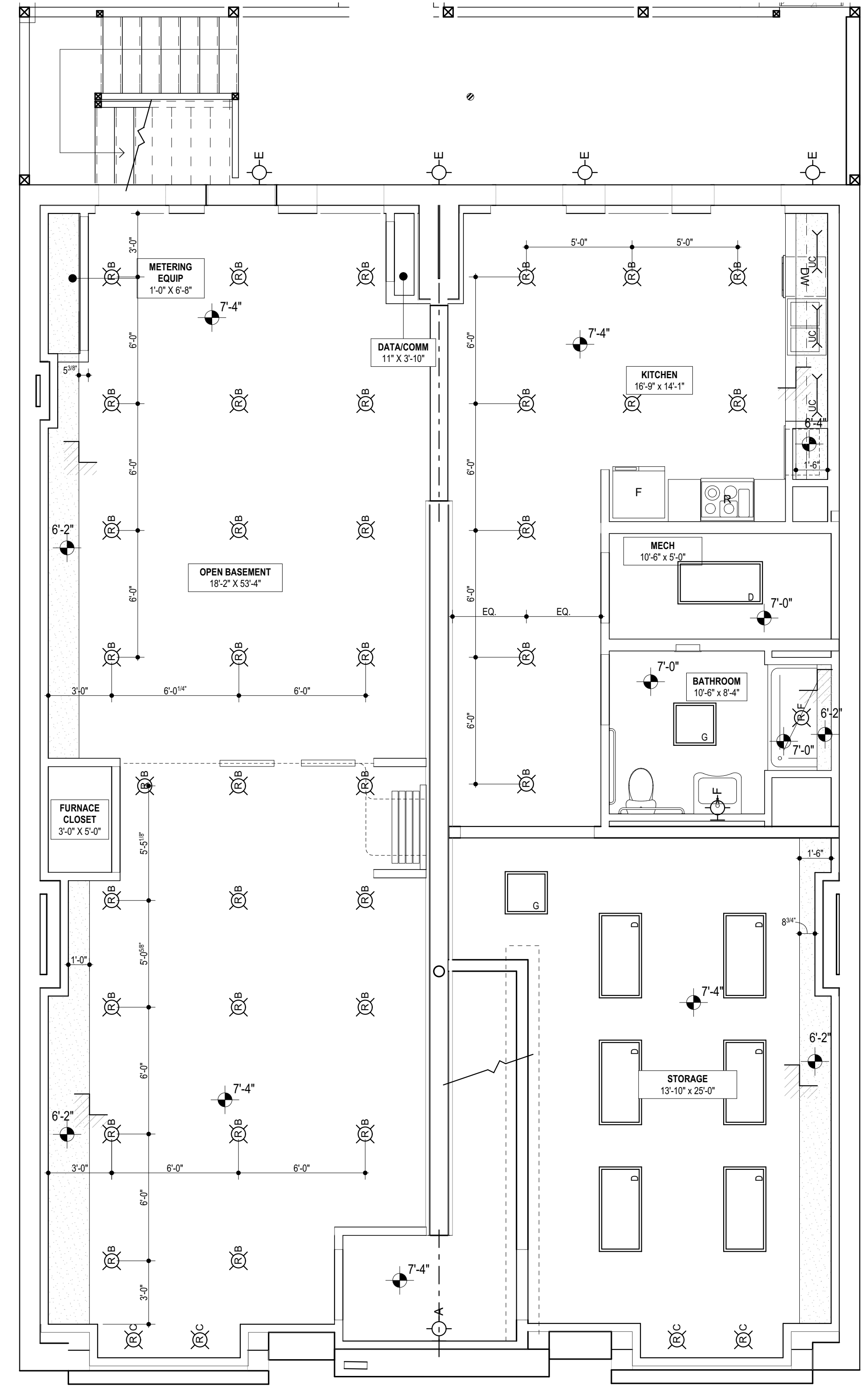
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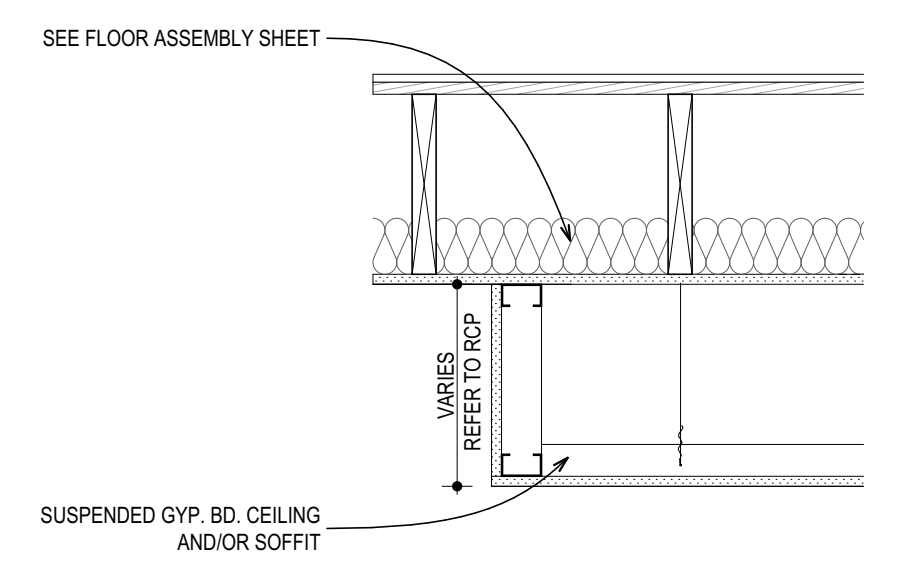
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Second Floor Plan and Demolition Plan

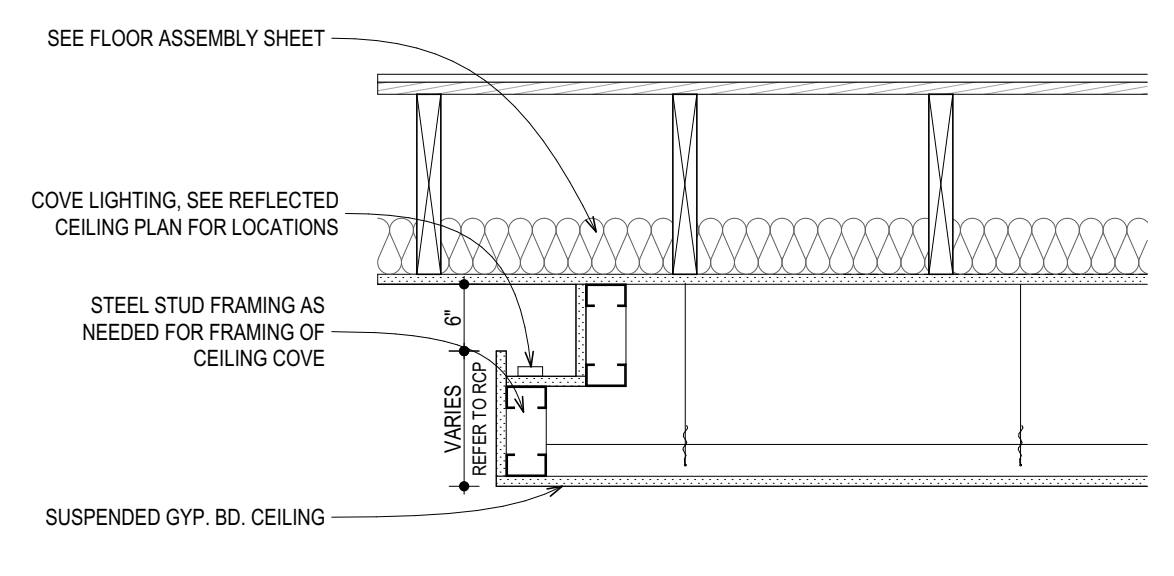
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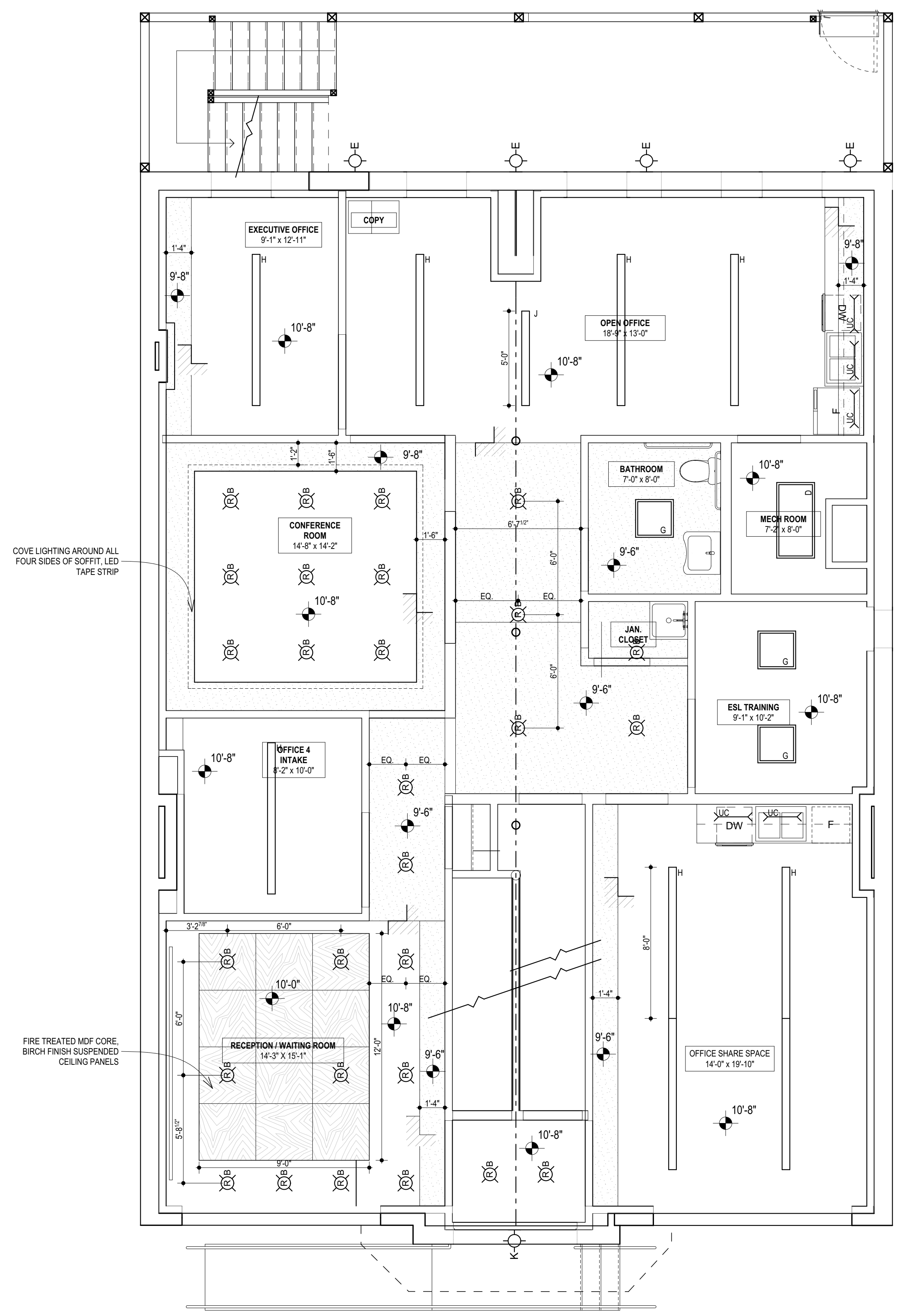
**2** Basement Reflected Ceiling Plan  
SCALE: 1/4" = 1'-0"



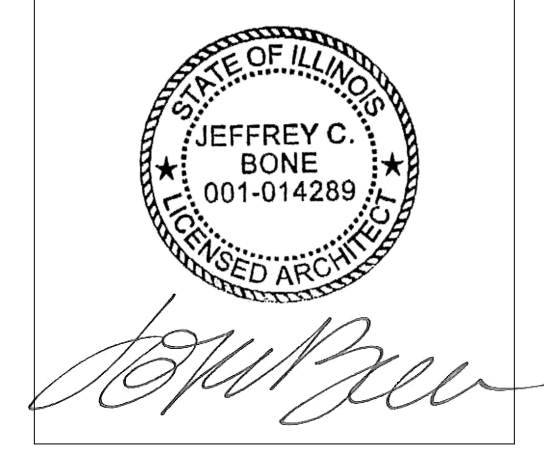
**4** Gyp. Bd. Soffit Detail  
SCALE: 1" = 1'-0"



**3** Gyp. Bd. Soffit / Cove Detail  
SCALE: 1" = 1'-0"



**1** 1st Floor RCP Plan  
SCALE: 1/4" = 1'-0"



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08/20/2015

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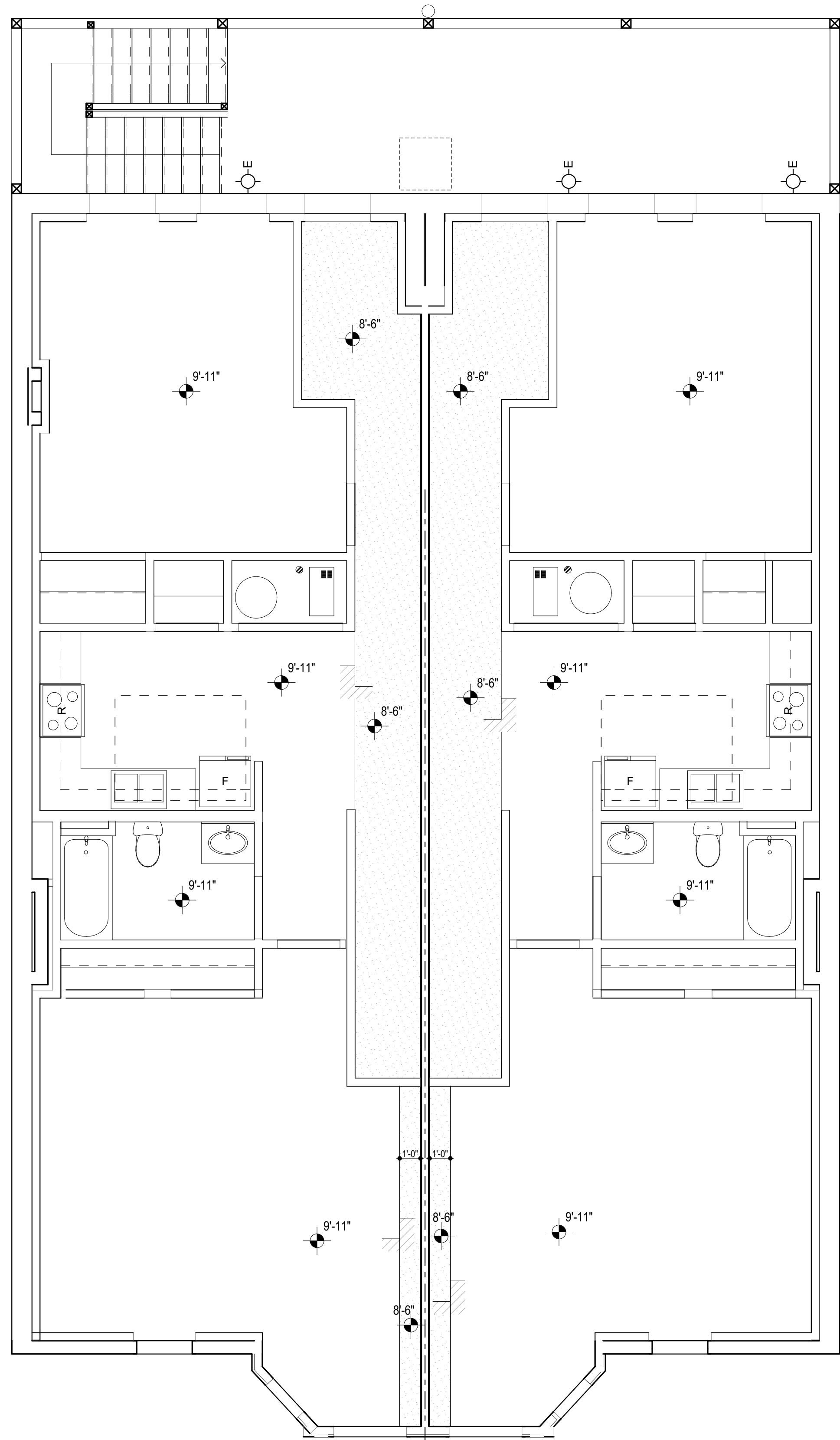
Basement and First Floor  
Reflected Ceiling Plans

**A-104**

**FINISH SCHEDULE**

ROOM / AREA	FLOOR	BASE	WALLS	CEILING	NOTES
<b>BASEMENT FLOOR</b>					
OPEN BASEMENT	12' X 12' VCT (3 COLOR SCHEME)	4" HIGH VINYL BASE	PAINTED DRYWALL	PAINTED DRYWALL	ACCENT WALL COLOR
STORAGE	12' X 12' VCT (1 COLOR)	4" HIGH VINYL BASE	PAINTED DRYWALL	PAINTED DRYWALL	
FURNACE CLOSET/MECHANICAL ROOM	12' X 12' VCT (1 COLOR)	4" TS RUBBER	PAINTED DRYWALL	PAINTED DRYWALL	
BATHROOM	12' X 12' CERAMIC TILE	4" HIGH X 12" WIDE PORCELAIN TILE W/ BULLNOSED EDGE	PAINTED DRYWALL	PAINTED DRYWALL	EXPOSED CONCRETE TREAD ON PAINTED STEEL STAIR
KITCHEN	12' X 12' VCT (3 COLOR SCHEME)	4" HIGH VINYL BASE	PAINTED DRYWALL	PAINTED DRYWALL	
STAIRS	RUBBER STAIR TREADS AND RISERS	4" HIGH VINYL BASE	PAINTED DRYWALL	PAINTED DRYWALL	
STAIRS LANDING	12' X 12' VCT (2 COLOR SCHEME)	4" HIGH VINYL BASE	PAINTED DRYWALL	PAINTED DRYWALL	
<b>FIRST FLOOR FLOOR</b>					
ENTRY VESTIBULE	12' X 12' PORCELAIN TILE	4" HIGH X 12" WIDE PORCELAIN TILE W/ BULLNOSED EDGE	PAINTED DRYWALL	PAINTED DRYWALL	
RECEPTION/WAITING ROOM	WOOD PLANK LUXURY STRIP VINYL	1X4 PAINTED MDF BASE W/ PAINTED QUARTER ROUND SHOE MOLD	PAINTED DRYWALL	PAINTED DRYWALL	FLOORING TO HAVE A MIN 20 MIL WEAR LAYER
OFFICE 4 INTAKE	WOOD PLANK LUXURY STRIP VINYL	1X4 PAINTED MDF BASE W/ PAINTED QUARTER ROUND SHOE MOLD	PAINTED DRYWALL	PAINTED DRYWALL	FLOORING TO HAVE A MIN 20 MIL WEAR LAYER
CONFERENCE ROOM	WOOD PLANK LUXURY STRIP VINYL	1X4 PAINTED MDF BASE W/ PAINTED QUARTER ROUND SHOE MOLD	PAINTED DRYWALL	PAINTED DRYWALL	FLOORING TO HAVE A MIN 20 MIL WEAR LAYER
ESL TRAINING	WOOD PLANK LUXURY STRIP VINYL	1X4 PAINTED MDF BASE W/ PAINTED QUARTER ROUND SHOE MOLD	PAINTED DRYWALL	PAINTED DRYWALL	FLOORING TO HAVE A MIN 20 MIL WEAR LAYER
CORRIDOR	WOOD PLANK LUXURY STRIP VINYL	1X4 PAINTED MDF BASE W/ PAINTED QUARTER ROUND SHOE MOLD	PAINTED DRYWALL	PAINTED DRYWALL	FLOORING TO HAVE A MIN 20 MIL WEAR LAYER
MECHANICAL ROOM	VCT (1 COLOR)	4" TS RUBBER	PAINTED DRYWALL	PAINTED DRYWALL	
BATHROOM	12' X 12' PORCELAIN TILE	4" HIGH X 12" WIDE PORCELAIN TILE W/ BULLNOSED EDGE	SEE NOTES	PAINTED DRYWALL	*DUROCK OR APPROVED EQUAL AT WALL TILE MOLD RESISTANT GREEN BOARD AT ALL OTHER WALLS AND CEILING ** 3 COLOR TILE WALL SURROUND PRICE RANGE 2. BULLNOSED EDGES
OPEN OFFICE	WOOD PLANK LUXURY STRIP VINYL	1X4 PAINTED MDF BASE W/ PAINTED QUARTER ROUND SHOE MOLD	PAINTED DRYWALL	PAINTED SMOOTH FINISH PRECAST	*MOISTURE RESISTANT GREEN BOARD AT KITCHENETTE WET WALL
EXECUTIVE OFFICE	LUXURY VINYL STRIP FLOORING	1X4 PAINTED MDF BASE W/ PAINTED QUARTER ROUND SHOE MOLD	PAINTED DRYWALL	PAINTED DRYWALL	
SHARED OFFICE SPACE	12' X 12' VCT (3 COLOR SCHEME)	1X4 PAINTED MDF BASE W/ PAINTED QUARTER ROUND SHOE MOLD	PAINTED DRYWALL	PAINTED SMOOTH FINISH PRECAST	*MOISTURE RESISTANT GREEN BOARD AT KITCHENETTE WET WALL
<b>SECOND FLOOR FLOOR</b>					
BEDROOM 1 & 2	WOOD PLANK LUXURY STRIP VINYL	1X4 PAINTED MDF BASE W/ PAINTED QUARTER ROUND SHOE MOLD	PAINTED DRYWALL	PAINTED DRYWALL	FLOORING TO HAVE A MIN 20 MIL WEAR LAYER
BATHROOM	12' X 12' PORCELAIN TILE	4" HIGH X 12" WIDE PORCELAIN TILE W/ BULLNOSED EDGE	SEE NOTES	PAINTED DRYWALL	*DUROCK OR APPROVED EQUAL AT TUB WALL SURROUND TILE. MOLD RESISTANT GREEN BOARD AT ALL OTHER WALLS AND CEILING ** 3 COLOR TILE WALL SURROUND PRICE RANGE 2. BULLNOSED EDGES
KITCHEN	12' X 12' VCT (2 COLOR SCHEME)	4" HIGH VINYL BASE	PAINTED DRYWALL	PAINTED DRYWALL	*MOISTURE RESISTANT GREEN BOARD AT KITCHEN WET WALL
CLOSETS	VCT (1 COLOR)	4" HIGH VINYL BASE	PAINTED DRYWALL	PAINTED DRYWALL	
FURNACE CLOSET	VCT (1 COLOR)	4" HIGH VINYL BASE	PAINTED DRYWALL	PAINTED DRYWALL	
PANTRY	VCT (1 COLOR)	4" HIGH VINYL BASE	PAINTED DRYWALL	PAINTED DRYWALL	
CORRIDOR	WOOD PLANK LUXURY STRIP VINYL	1X4 PAINTED MDF BASE W/ PAINTED QUARTER ROUND SHOE MOLD	PAINTED DRYWALL	PAINTED DRYWALL	FLOORING TO HAVE A MIN 20 MIL WEAR LAYER

NOTE:  
1) ALL INTERIOR FINISHES TO BE REVIEWED AND APPROVED WITH OWNER



**1** 2nd Floor RCP Plan  
SCALE: 1/4" = 1'-0"  
0 2' 4' 6'

JEFFREY C. BONE  
001-014289  
LICENSED ARCHITECT

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08/20/2015

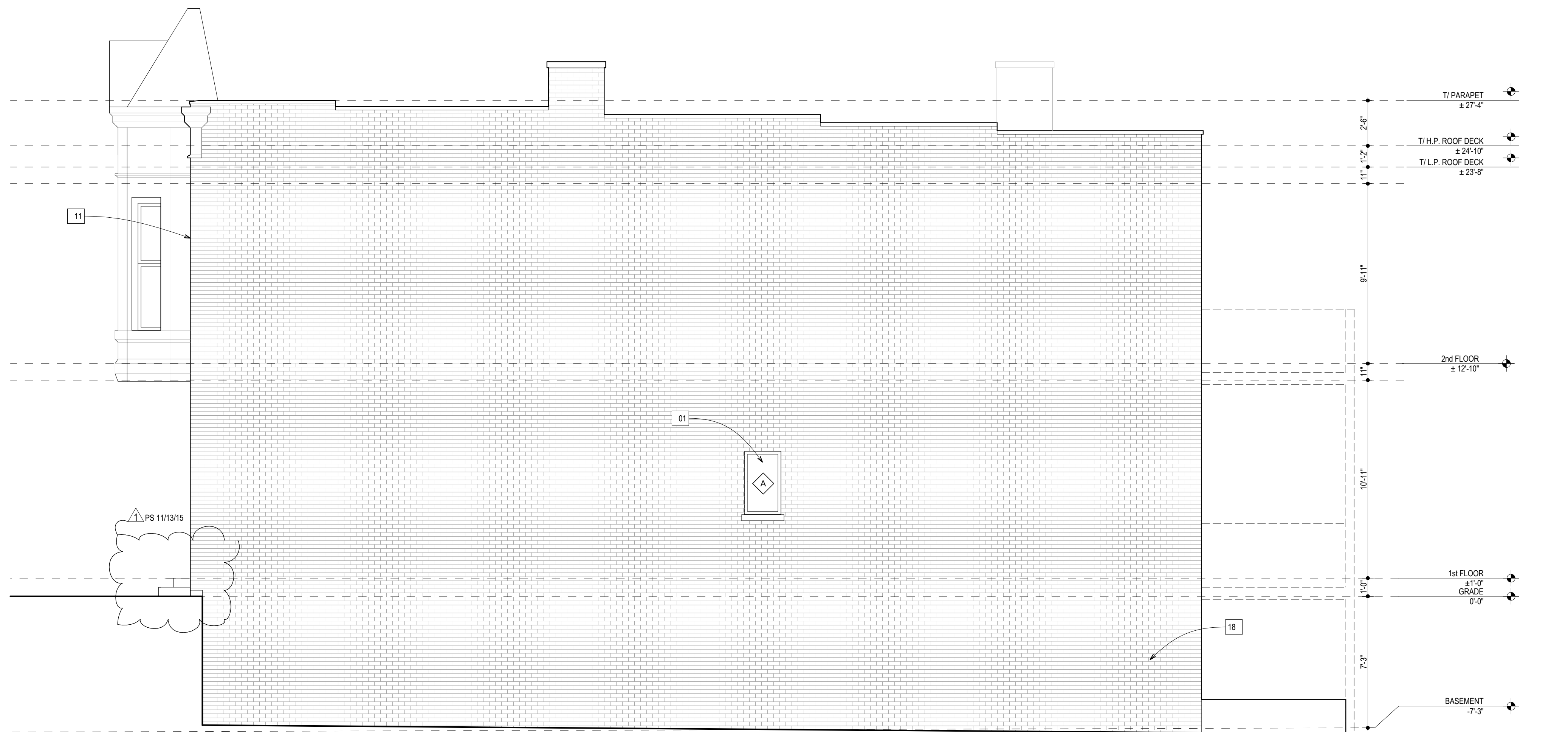
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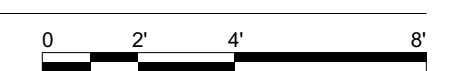
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Second Floor Reflected Ceiling Plan & Finish Schedule

**A-105**



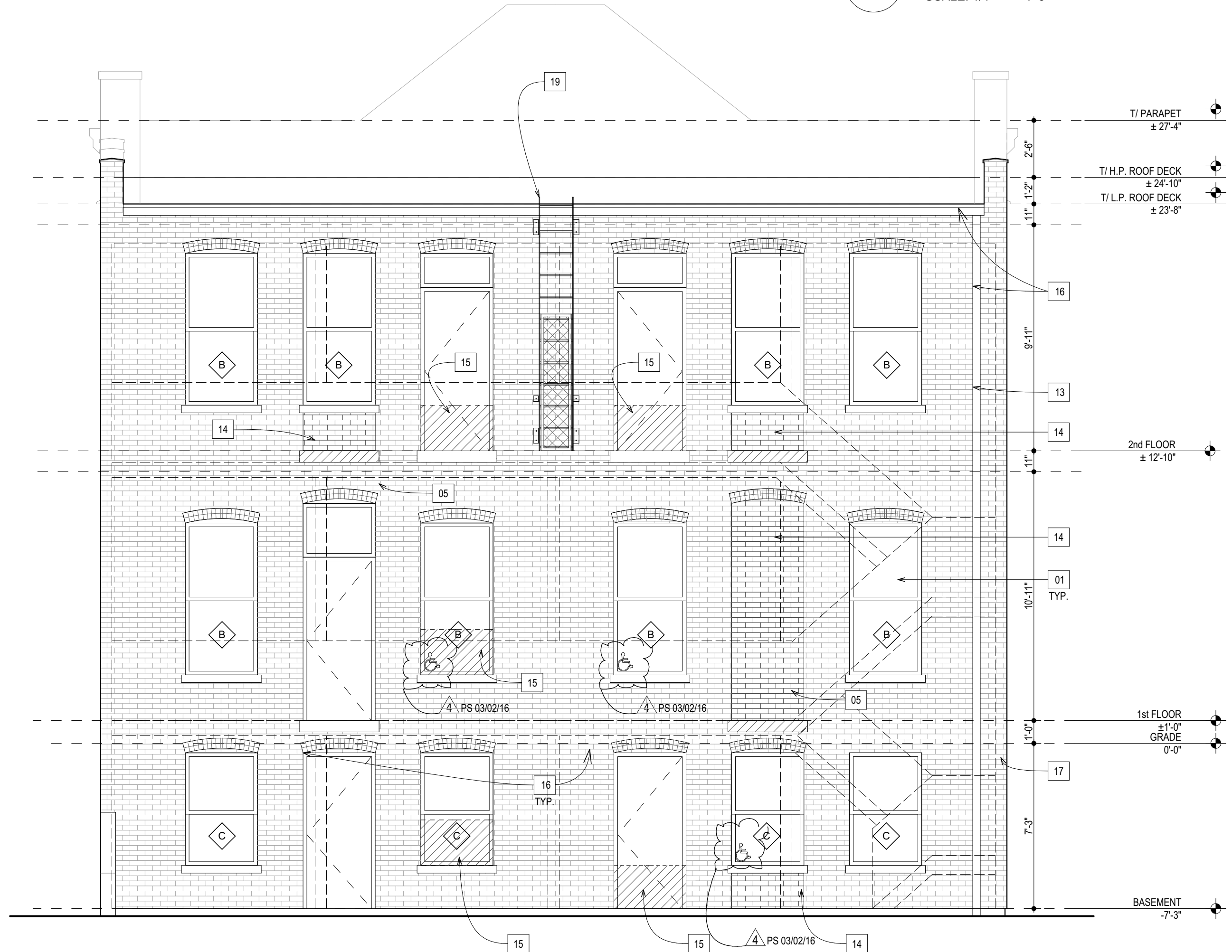
**3** South Elevation  
SCALE: 1/4" = 1'-0"



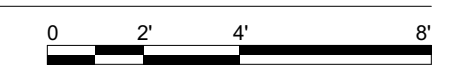
**ELEVATION LEGEND**

- 1 ACCESSIBLE WINDOW WITH A MIN. 30" x 48" CLEAR FLOOR SPACE FOR A PARALLEL OR FORWARD APPROACH. CONTROLS WITH 15"-48" AFF. AND 5 LB MAX FORCE TO ACTIVATE ALL OPERABLE PARTS.
  - 2 WINDOW TAG. REFER TO WINDOW SCHEDULES.
- ELEVATION KEY NOTES**
- 01 NEW DOUBLE HUNG VINYL WINDOWS, QUAKER ADVANTAGE SERIES (R40) OR EQUAL, WITH A MIN. U-FACTOR OF 0.35, SHGC 0.4. SEE DETAIL 14A-501.
  - 02 NEW ALUMINUM STOREFRONT, CLEAR ANODIZED FINISH, MIN. U-FACTOR OF 0.45, SHGC 0.4.
  - 03 REPLACE DAMAGED BRICK, PROVIDE NEW BRICK TO MATCH EXISTING.
  - 04 GRIND & TUCKPOINT BRICK AS NEEDED.
  - 05 REPAIR TELESCOPING CRACK IN BRICK, REPLACE ANY DAMAGED BRICK AS NEEDED, BRICK TO MATCH EXISTING.
  - 06 NOT USED.

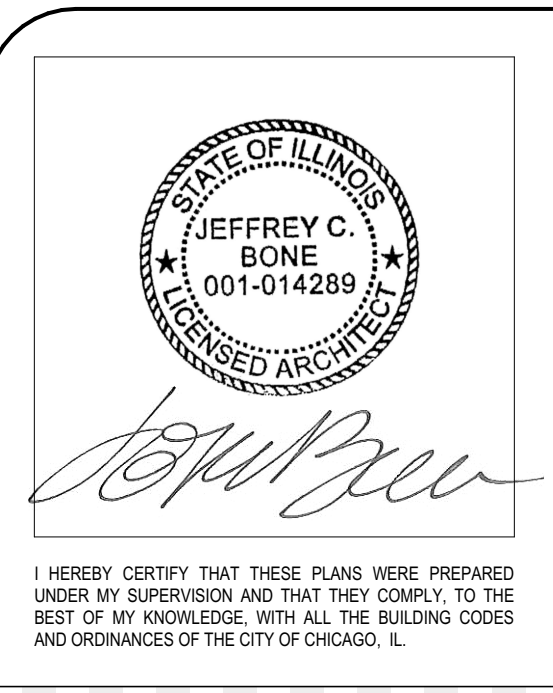
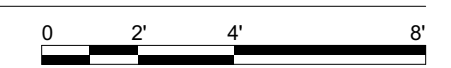
- 07 SCRAPE, CLEAN, AND PREP. EXISTING METAL PANELS. PRIME AND PAINT WITH EXTERIOR GRADE HIGH PERFORMANCE PAINT, COLOR TO BE SELECTED BY ARCHITECT.
- 08 NEW PRE-FINISHED INSULATED METAL PANEL INFILL AT STOREFRONT, COLOR TO BE SELECTED BY ARCHITECT.
- 09 SIMULATED METAL STOREFRONT MULLION BREAKS IN METAL PANELS.
- 10 NEW 8" CAST STONE SILL.
- 11 SCRAPE OUT EXISTING SEALANT AT PERIMETER OF BAY, REPLACE WITH NEW, EXTERIOR ELASTOMERIC, SILICONE JOINT SEALANT, TREMCO OR SIMILAR, SINGLE COMPONENT, NONSAG, CLASS 25.
- 12 STRIP PAINT FROM EXISTING BRICK USING PROSOCCO, ENIRO KLEAN SAFETY PEEL 1 OR ENVIRO KLEAN SAFETY PEEL 3 WITH ENVIRO KLEAN OVERCOAT OR DIETRECH TECHNOLOGIES 606 MULTI-LAYER PAINT REMOVER, OR ABR PRODUCTS, INC. GRIP NSTRIP 800 FAST ACTING.
- 13 SCRAPE, CLEAN, AND PREP. EXISTING METAL CORNICE, RE-ATTACH AS NEEDED. PRIME AND PAINT WITH EXTERIOR GRADE LATEX PAINT BENJAMIN MOORE MOOR GLO LATEX HOUSE & TRIM PAINT NO. 096 OR EQUAL.
- 14 INFILL BRICK WALL PER DETAIL 15A-501 AT EXISTING WINDOW OR DOOR OPENING.
- 15 REMOVE EXISTING BRICK AS NEEDED FOR NEW WINDOW OR DOOR.
- 16 NEW 6" GALVANIZED STEEL GUTTER & DOWNSPOUT TO BE INSTALLED AT PORCH ROOF EDGE AND POSTS. G.C. TO COORDINATE INSTALLATION WITH NEW PORCH.
- 17 INFILL PREVIOUS PORCH SUPPORT POCKETS WITH BRICK TO MATCH EXISTING.
- 18 PROVIDE NEW CEMENT PARPING AT BRICK.
- 19 PROVIDE NEW ROOF ACCESS LADDER, ANCHORED TO BRICK, AND WITH LOCKABLE PROTECTIVE PANEL. SEE DETAIL 18A-501.



**2** East Elevation  
SCALE: 1/4" = 1'-0"



**1** West Elevation  
SCALE: 1/4" = 1'-0"



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 ISSUED FOR PERMIT REVISION 2 01/11/2016  
 ISSUED FOR PERMIT REVISION 3 01/20/2016  
 ISSUED FOR PERMIT REVISION 4 03/02/2016

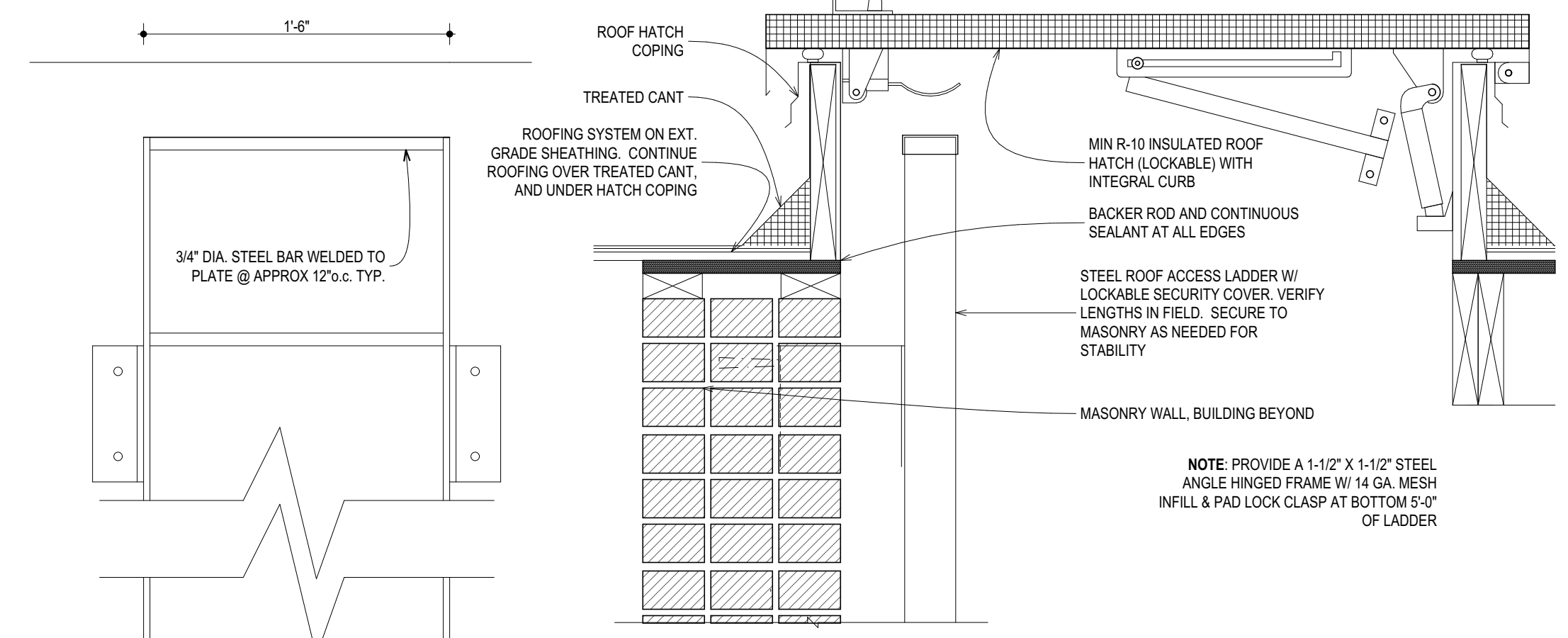
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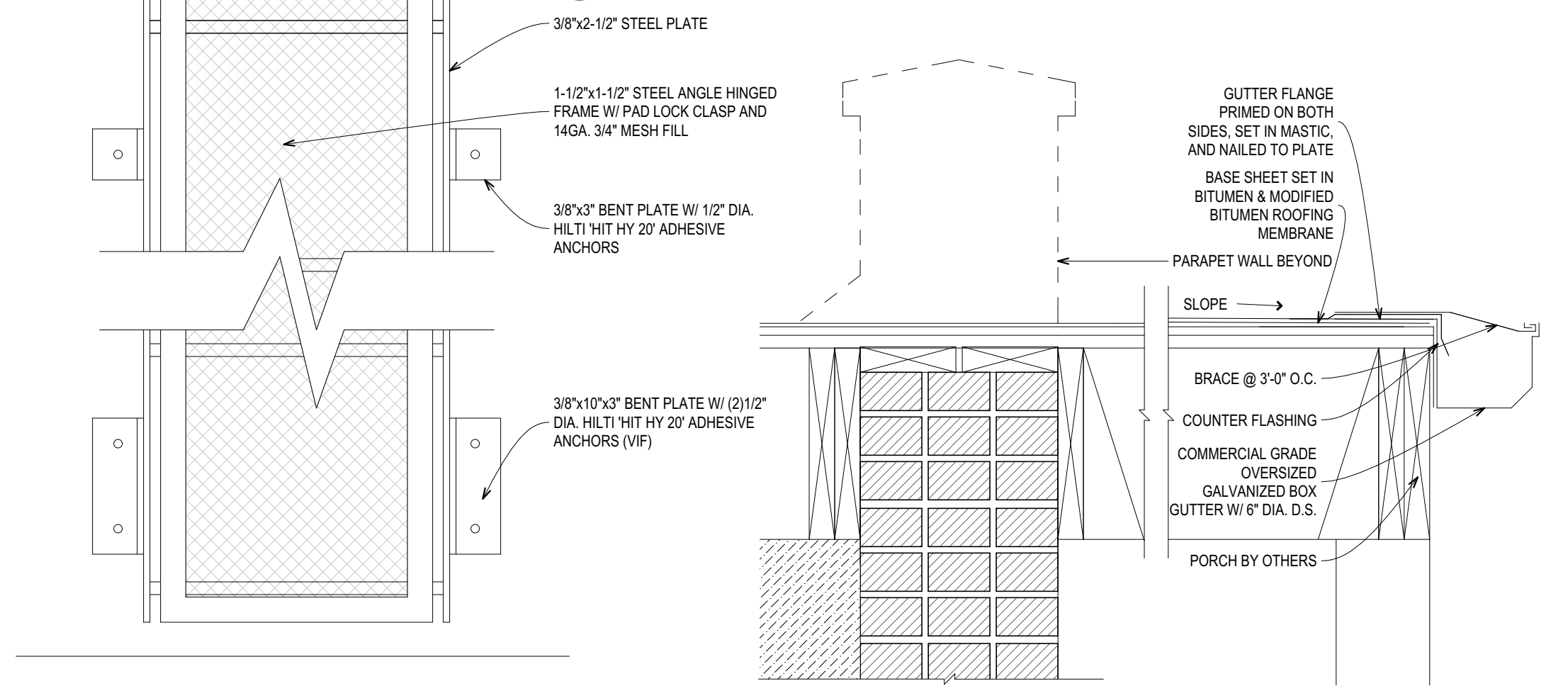
**1505**

**Building Elevations**

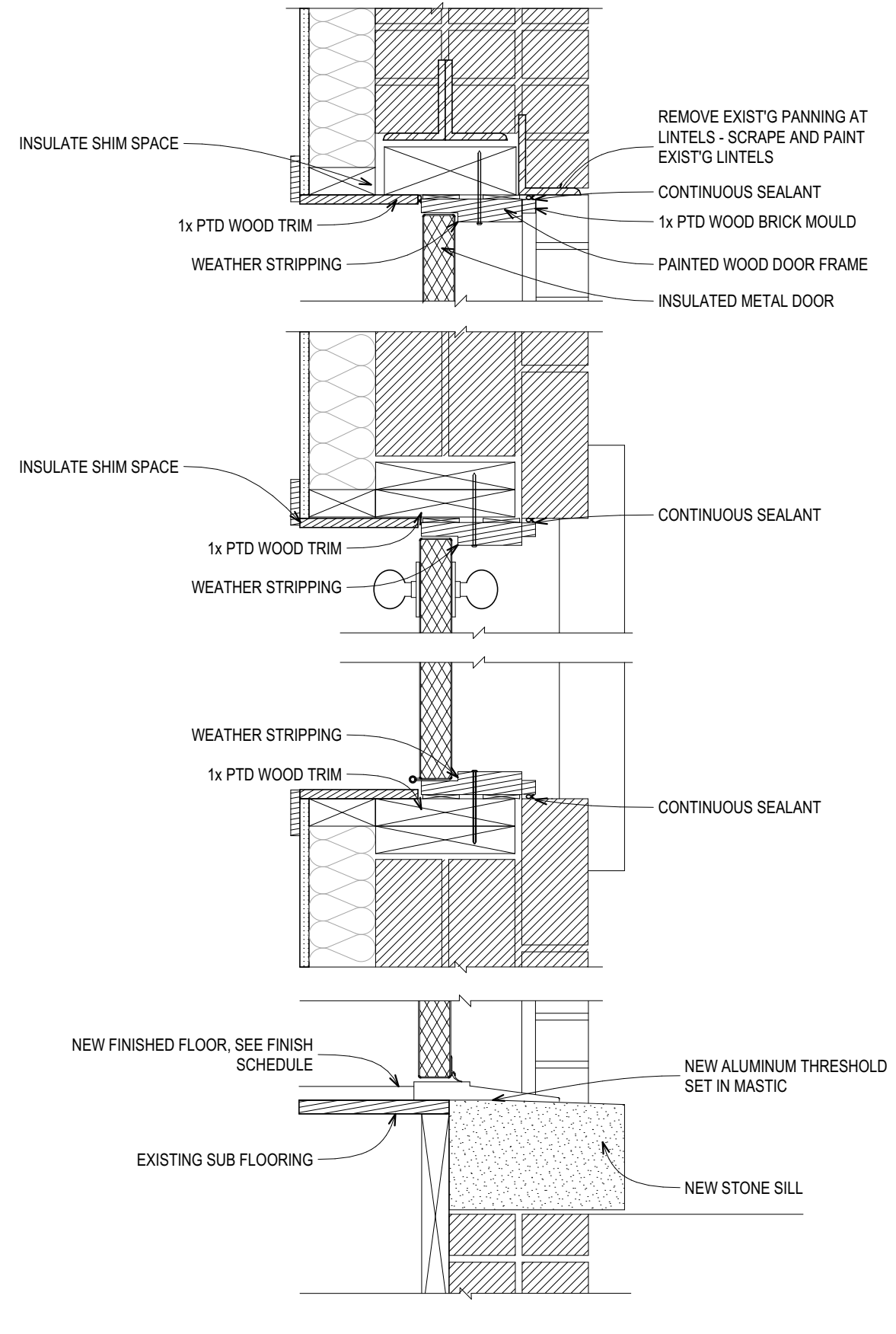
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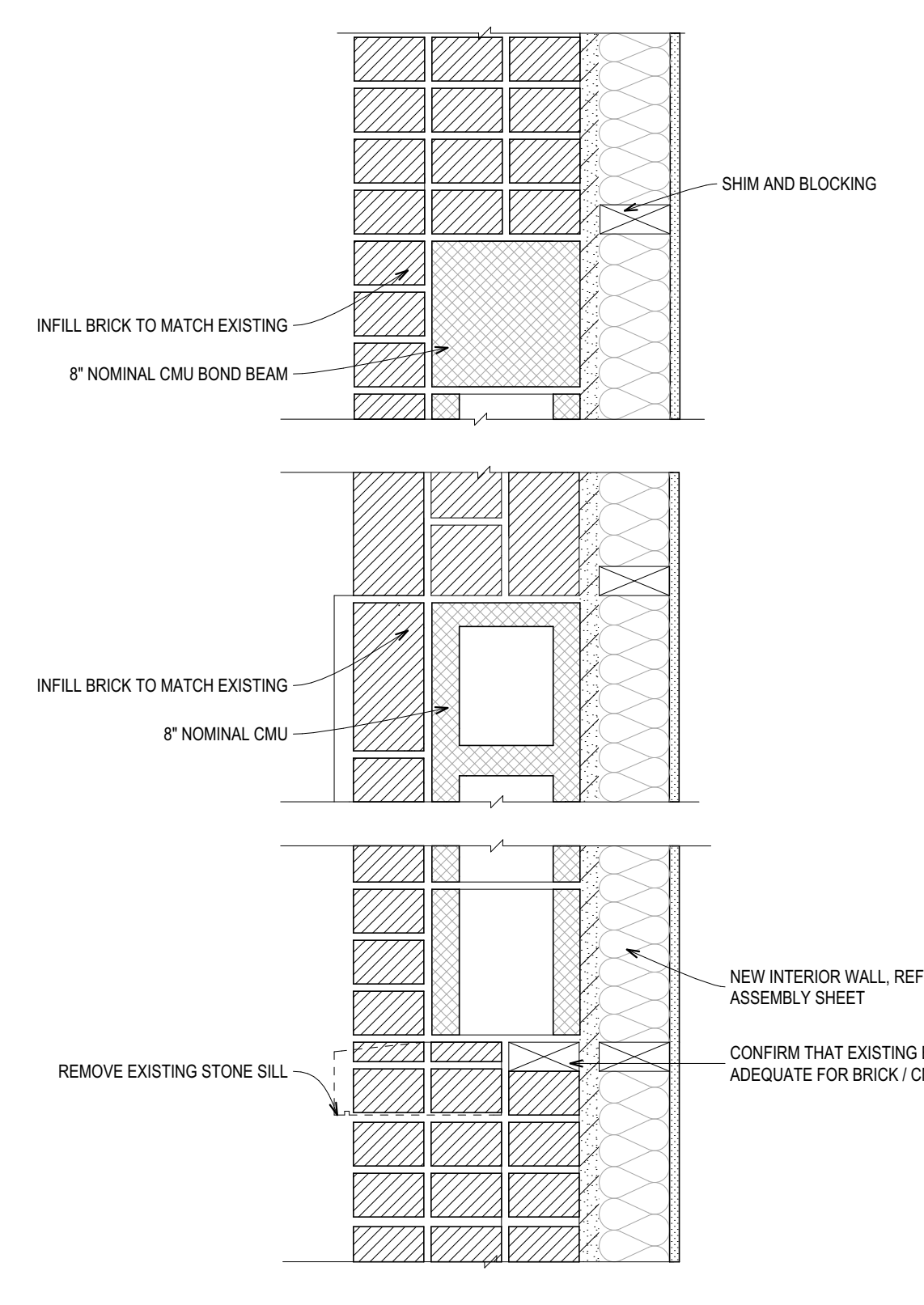
19 Roof Hatch Detail  
SCALE: 1 1/2" = 1'-0"



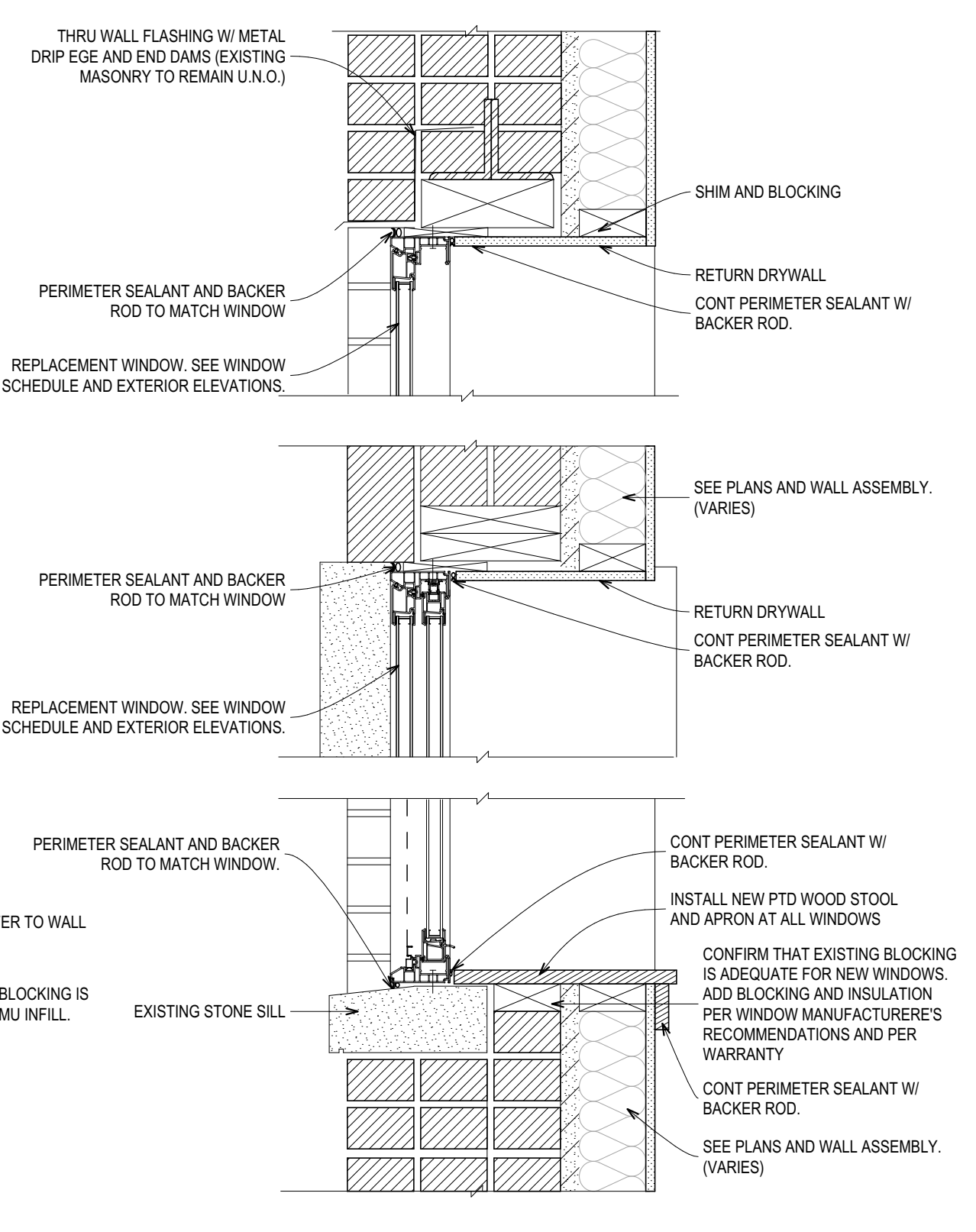
17 Gutter Detail at Roof over Wood Deck  
SCALE: 1 1/2" = 1'-0"



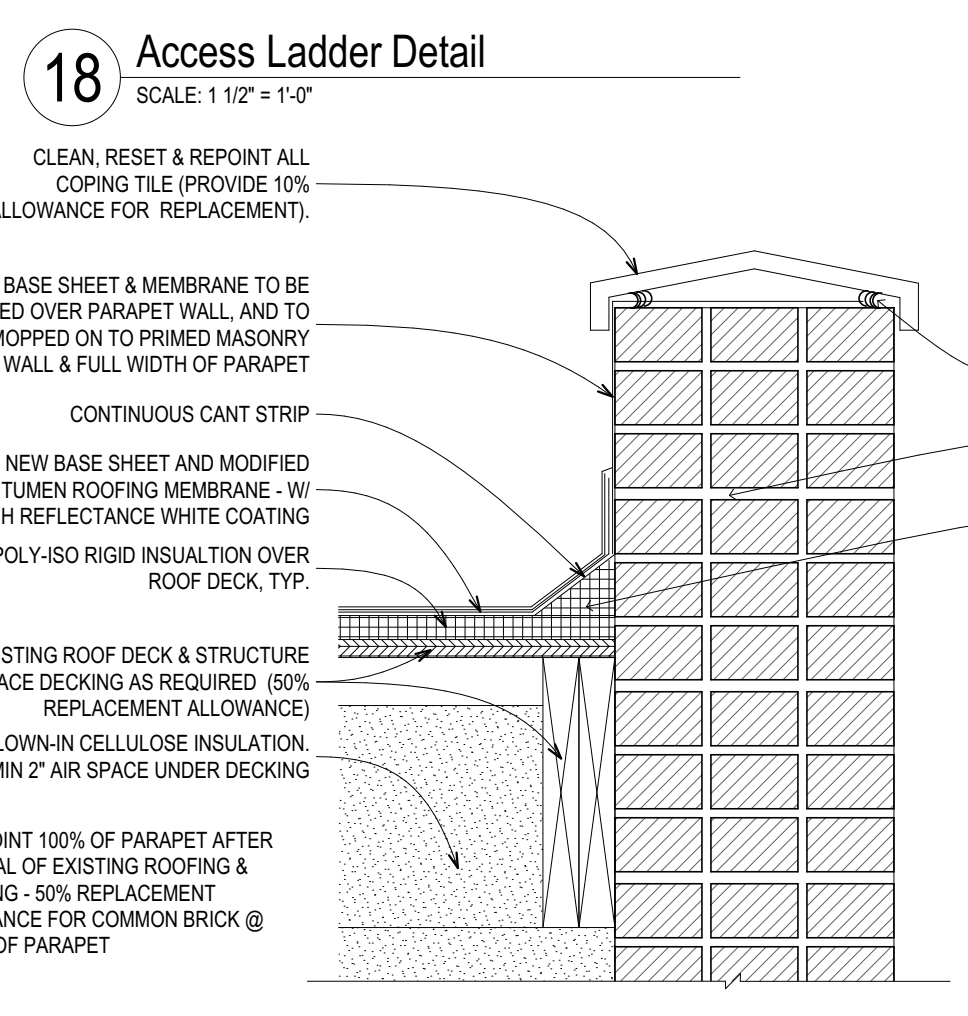
16 Rear Unit Door Detail  
SCALE: 1 1/2" = 1'-0"



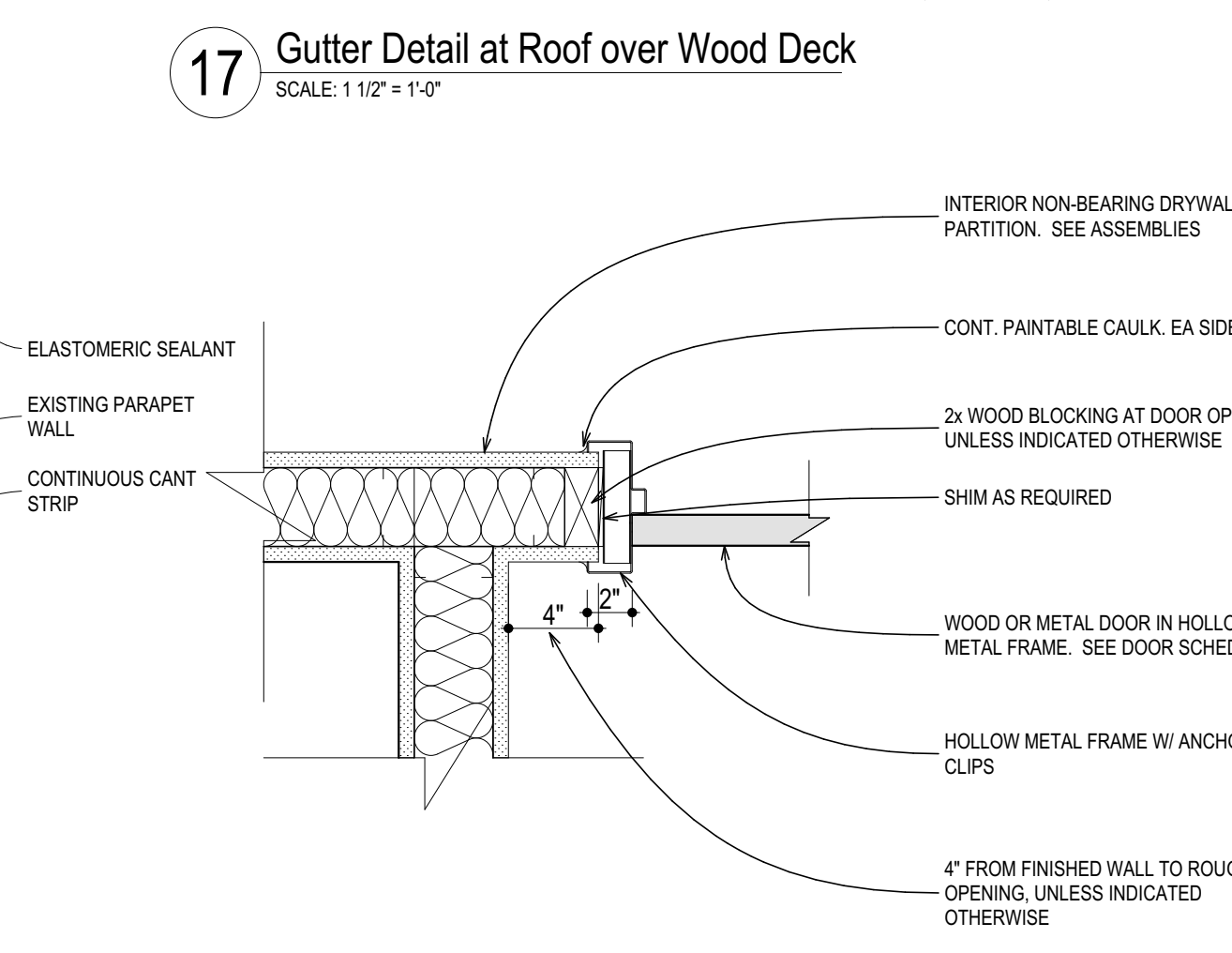
15 Masonry Infill Detail @ Existing Window Opening  
SCALE: 1 1/2" = 1'-0"



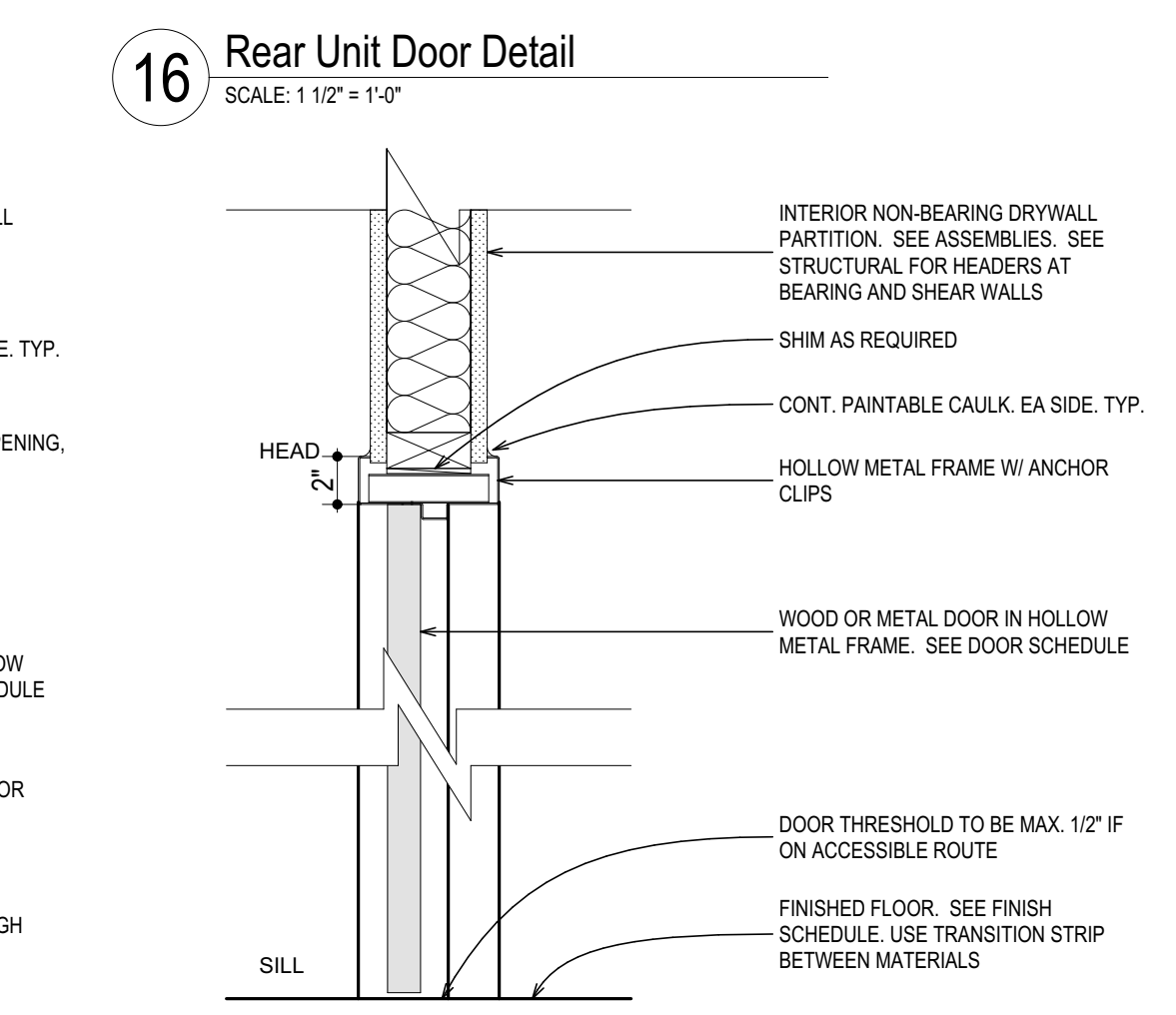
14 Replacement Window Detail  
SCALE: 1 1/2" = 1'-0"



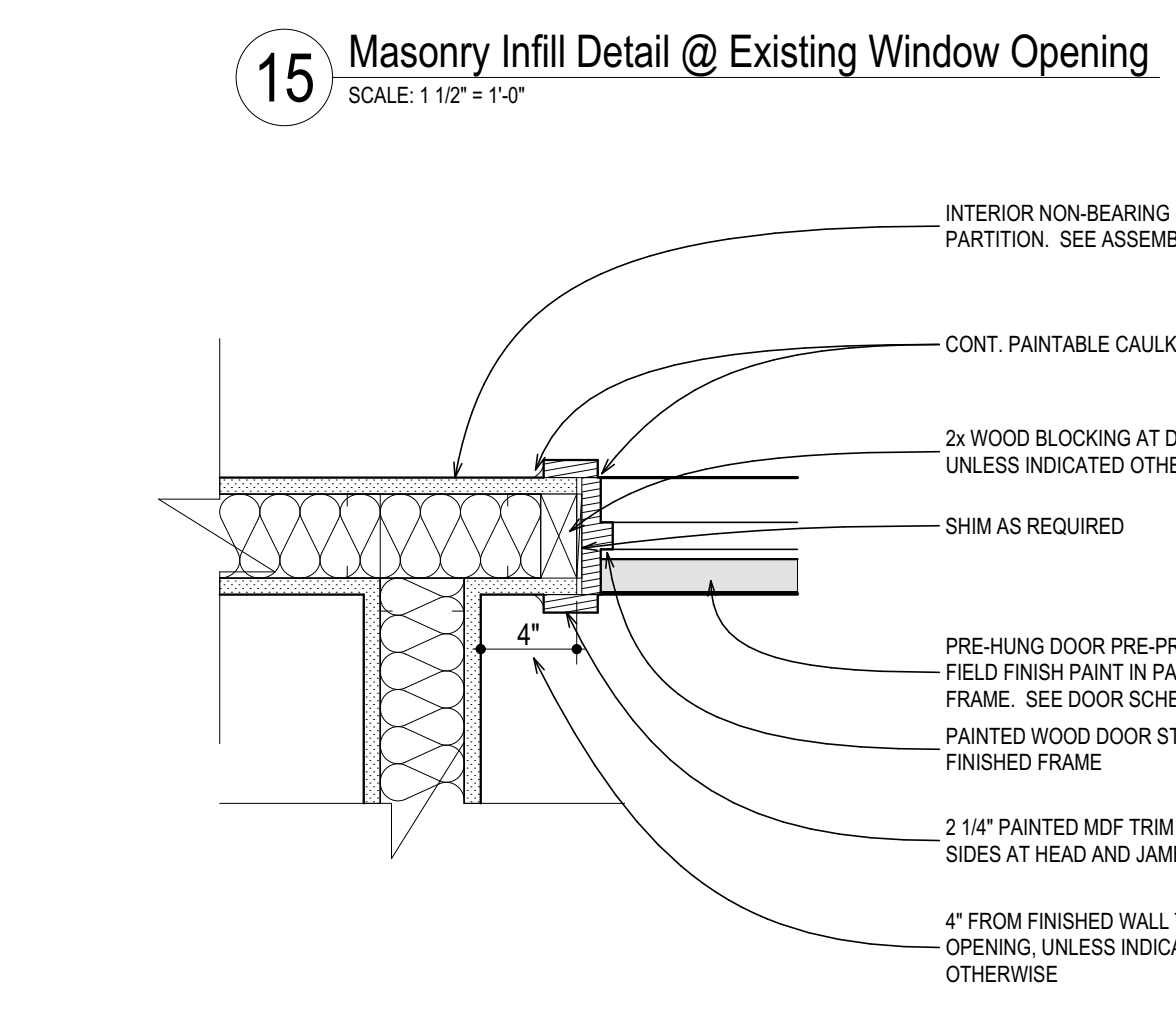
18 Access Ladder Detail  
SCALE: 1 1/2" = 1'-0"



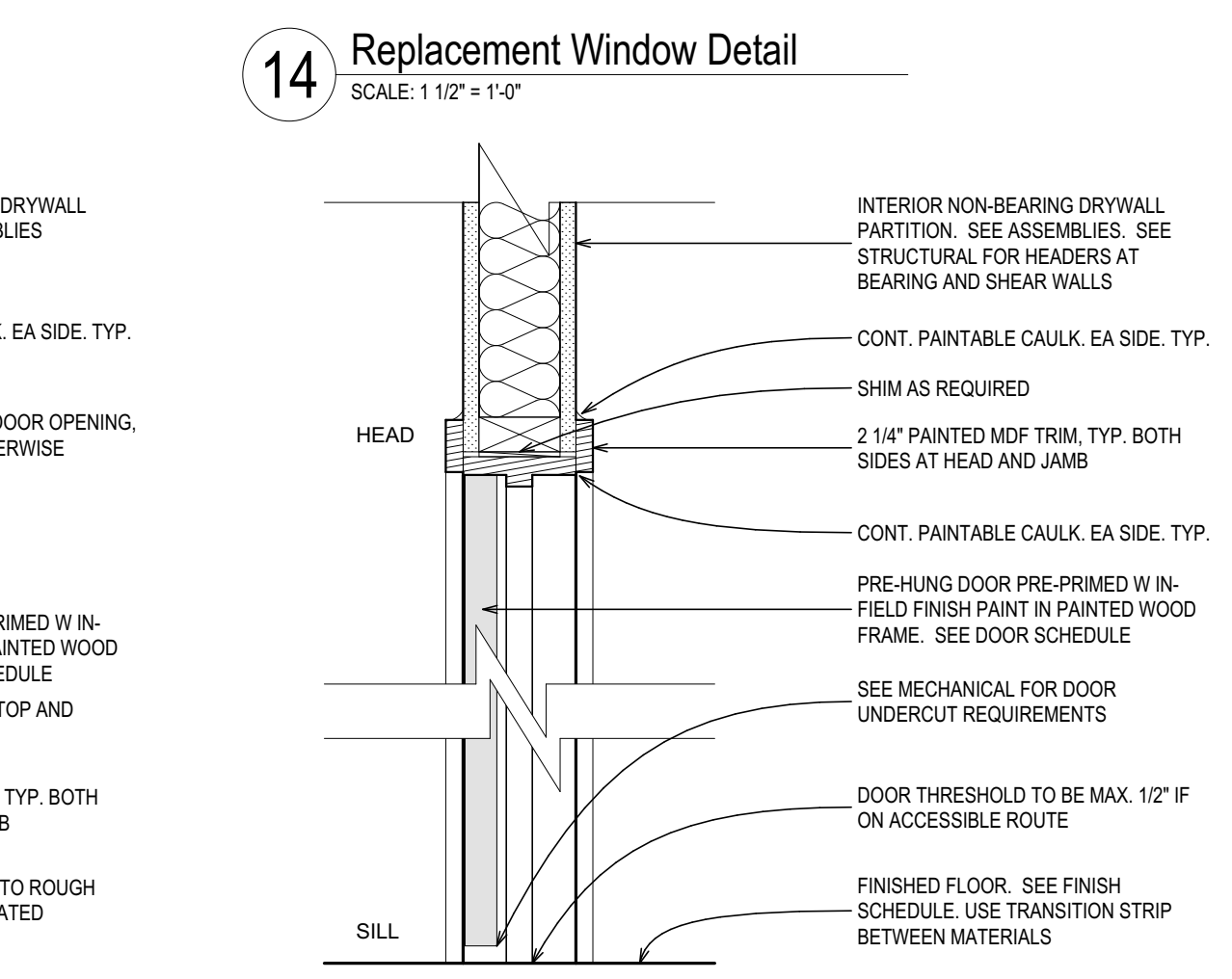
12 Typical Interior Hollow Metal Door Frame Detail at Jamb  
SCALE: 1 1/2" = 1'-0"



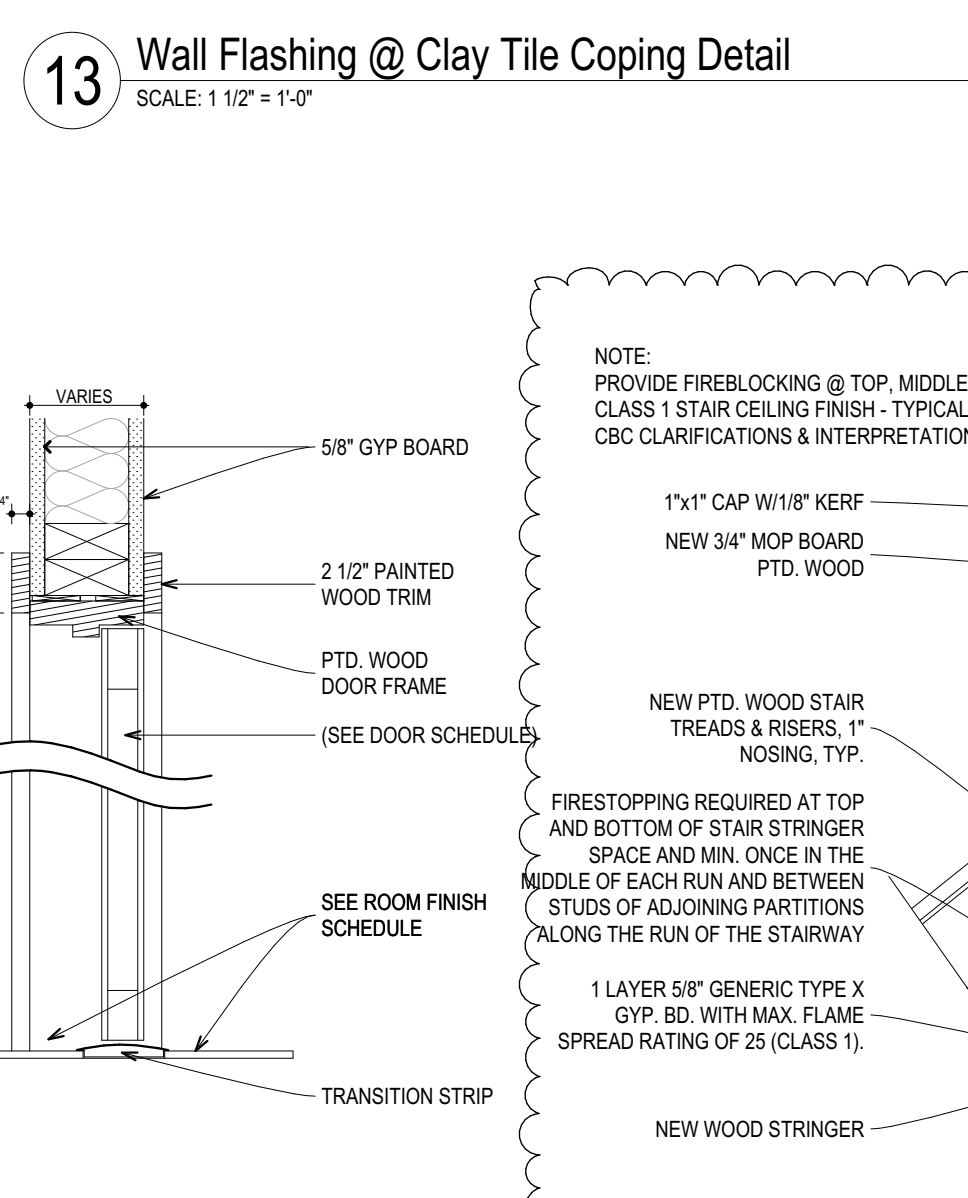
11 Typical Interior Hollow Metal Door Frame Detail at Head and Sill  
SCALE: 1 1/2" = 1'-0"



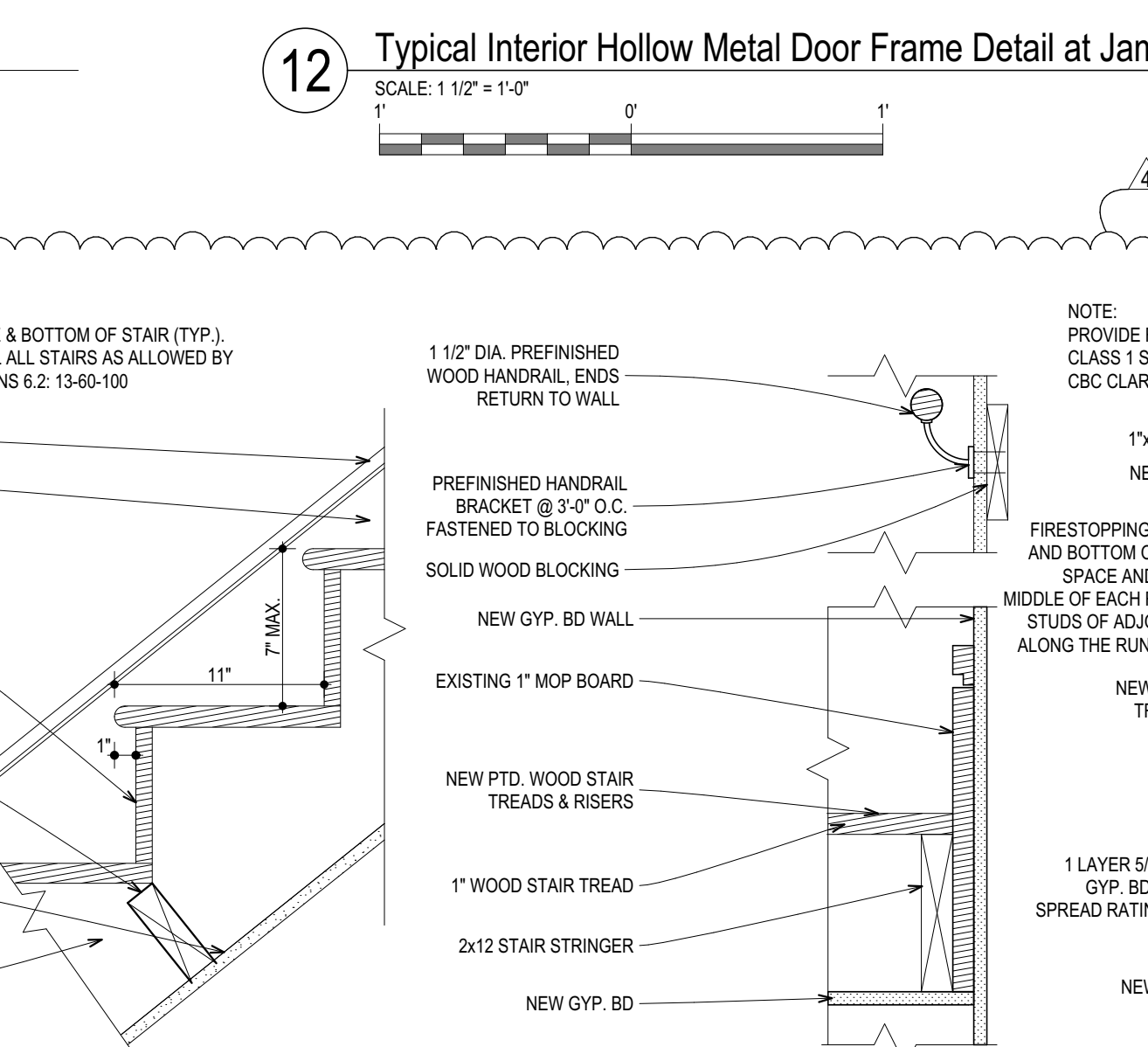
10 Typical Interior Wood Door Frame Detail at Jamb  
SCALE: 1 1/2" = 1'-0"



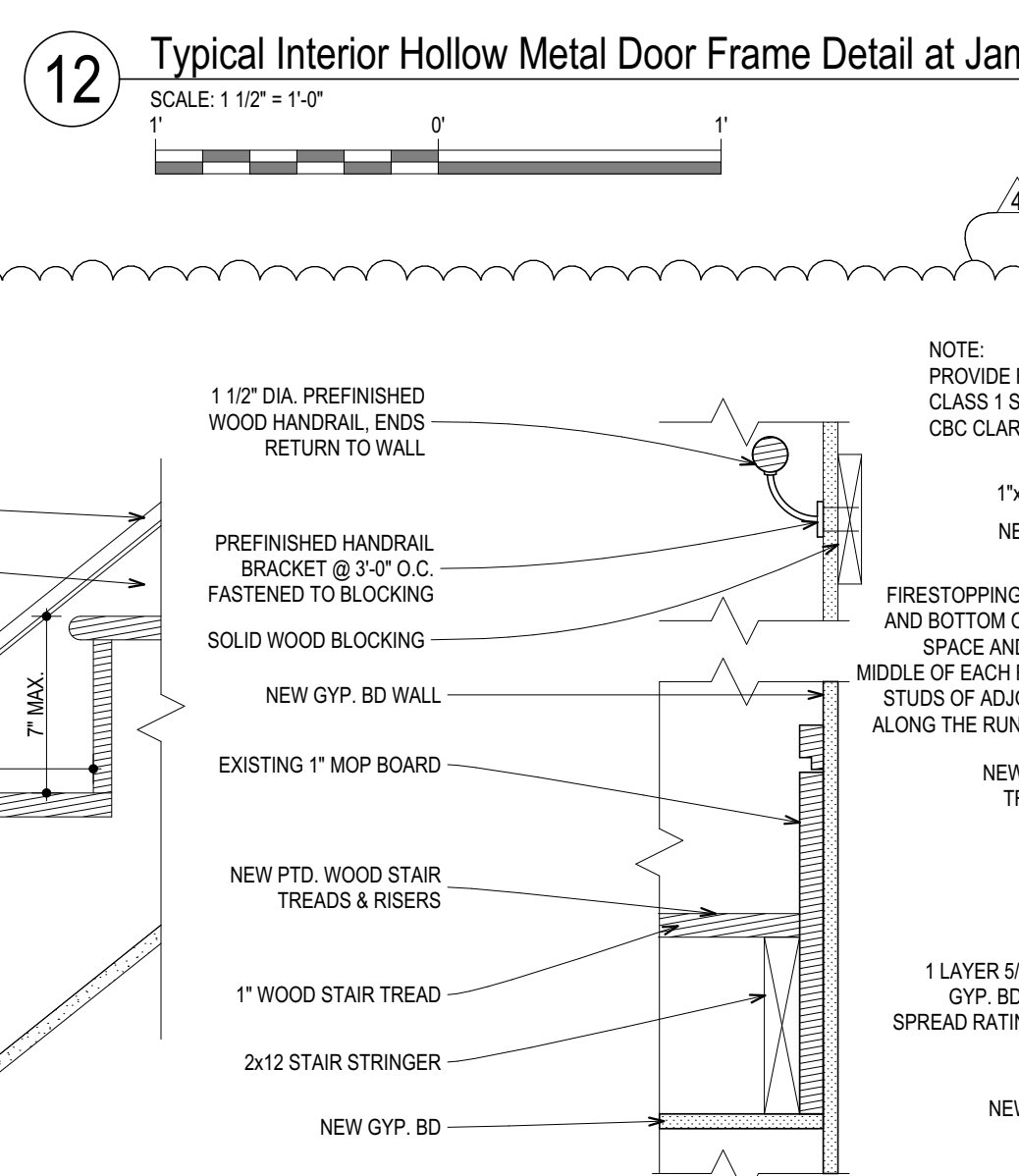
9 Typ. Interior Wood Door Frame Detail at Head and Sill  
SCALE: 1 1/2" = 1'-0"



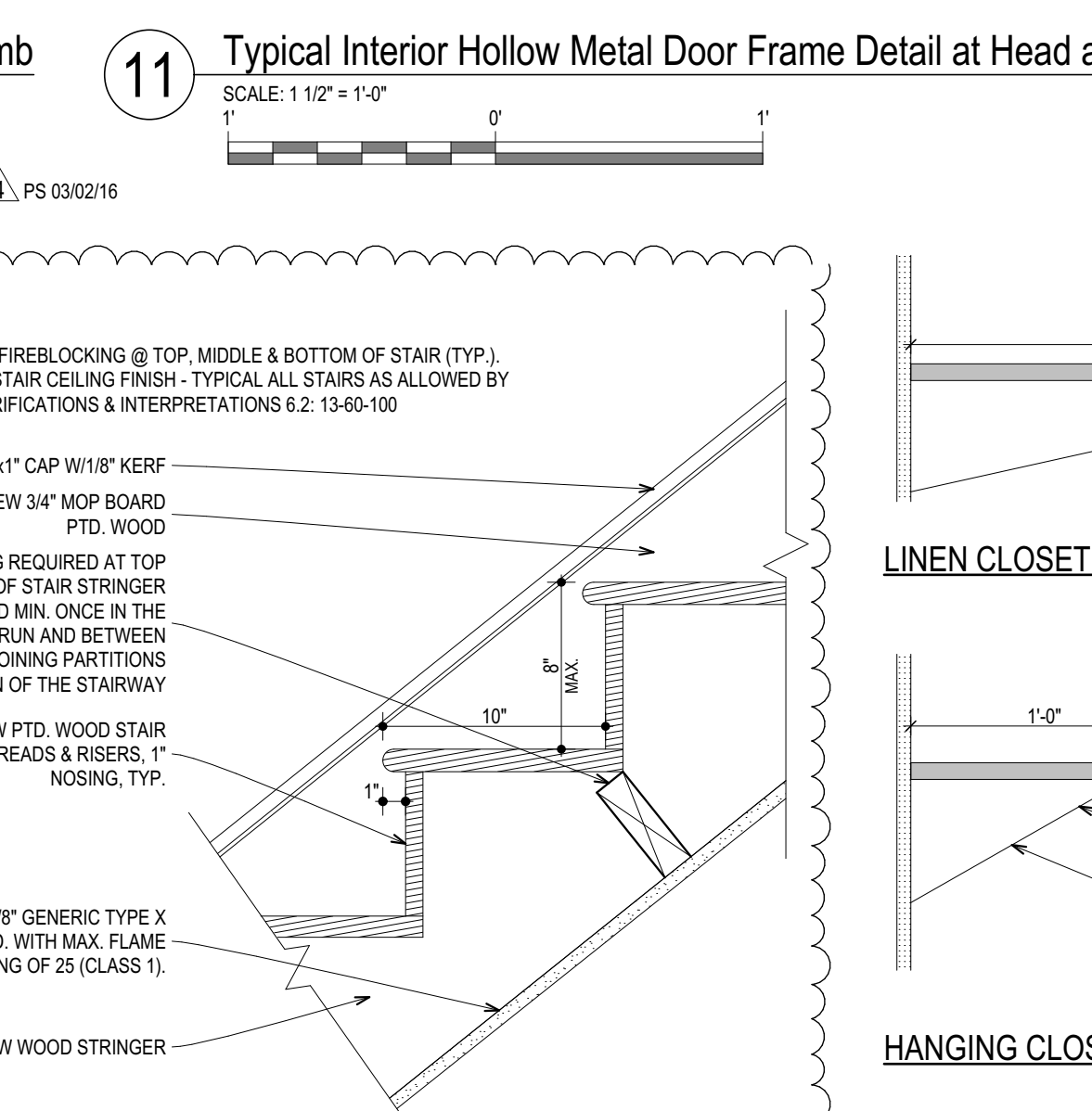
8 Typical Interior Door  
SCALE: 1 1/2" = 1'-0"



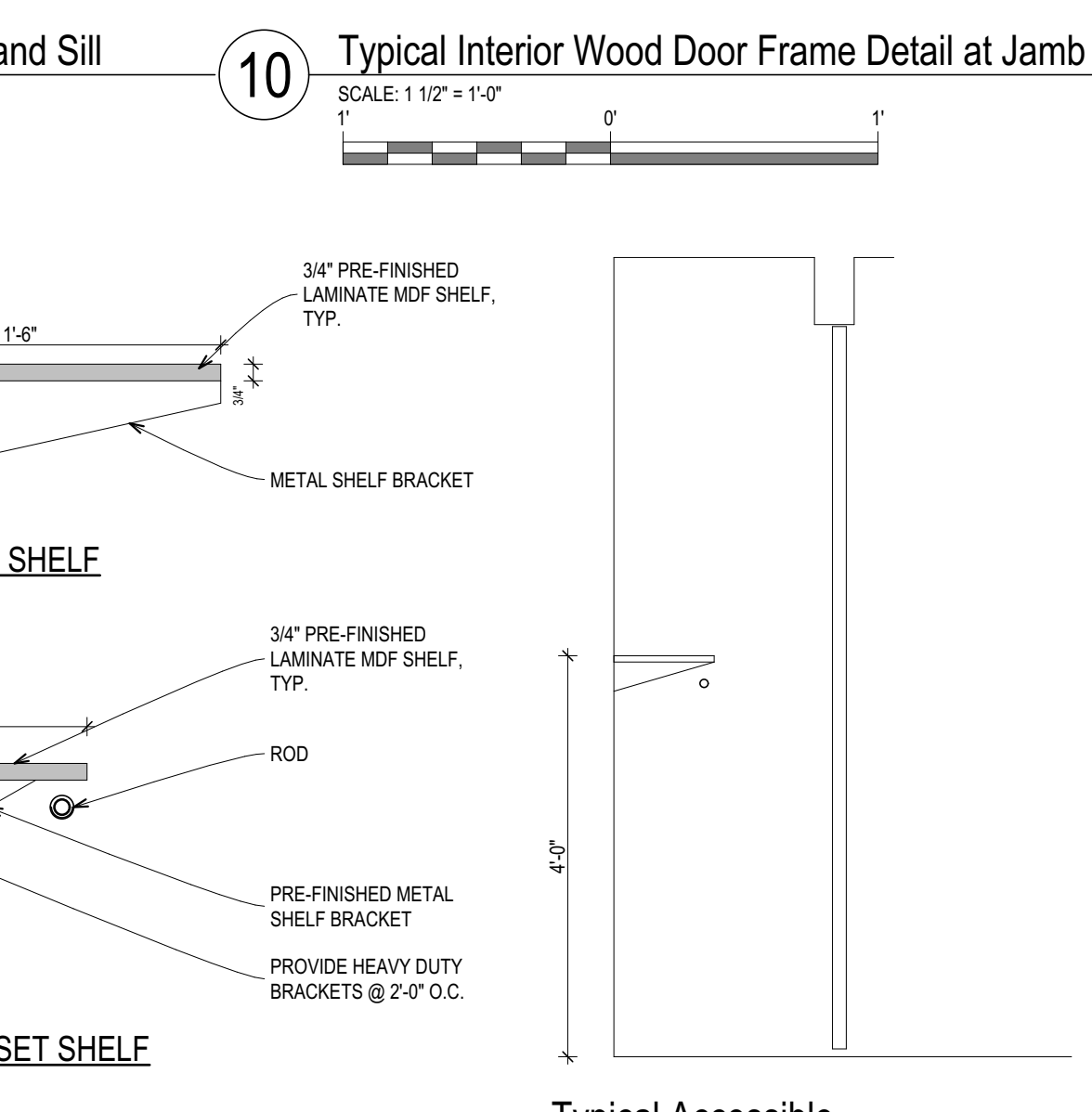
7 Tread & Riser Detail: Public Stair  
SCALE: 1 1/2" = 1'-0"



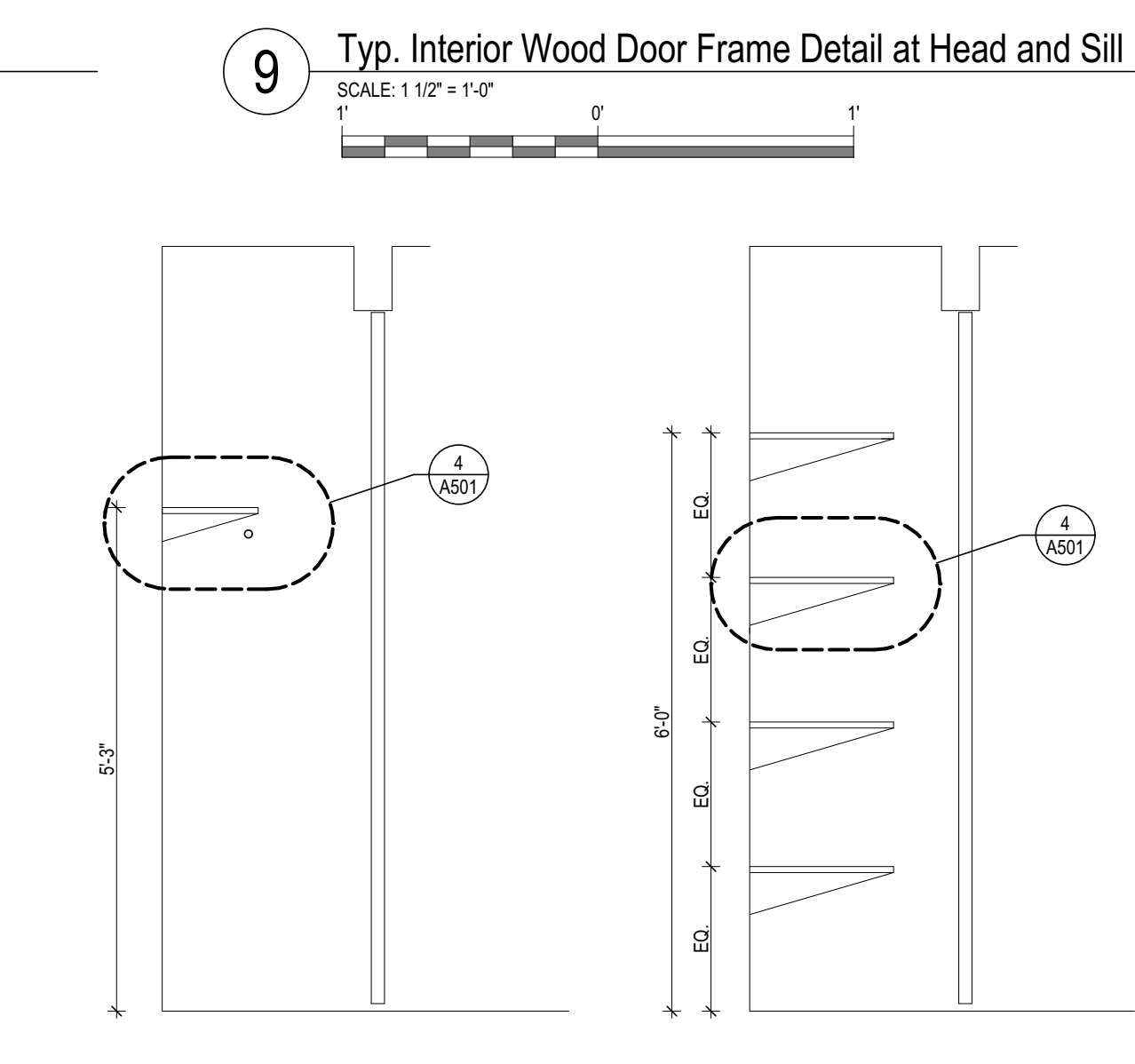
6 Typical Stair Sect. / Handrail Detail  
SCALE: 1 1/2" = 1'-0"



5 Tread & Riser Detail: Residential Stair  
SCALE: 1 1/2" = 1'-0"



4 Typical Shelf Section  
NOT TO SCALE



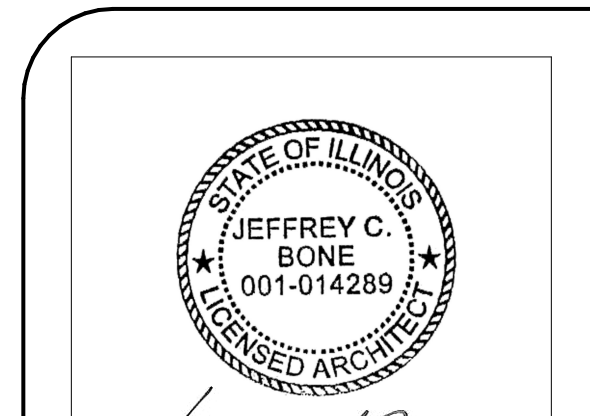
3 Typical Accessible Closet Section  
NOT TO SCALE



2 Typical Closet Section  
NOT TO SCALE



1 Typical Linen Closet Section  
NOT TO SCALE



I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED UNDER MY SUPERVISION AND THAT THEY COMPLY TO THE BEST OF MY KNOWLEDGE, WITH ALL THE BUILDING CODES AND ORDINANCES OF THE CITY OF CHICAGO, IL.

03/03/2016  
09/20/2015  
11/13/2015  
01/12/2016  
01/20/2016  
03/02/2016

ISSUED FOR PERMIT REVISION 1  
ISSUED FOR PERMIT REVISION 2  
ISSUED FOR PERMIT REVISION 3  
ISSUED FOR PERMIT REVISION 4

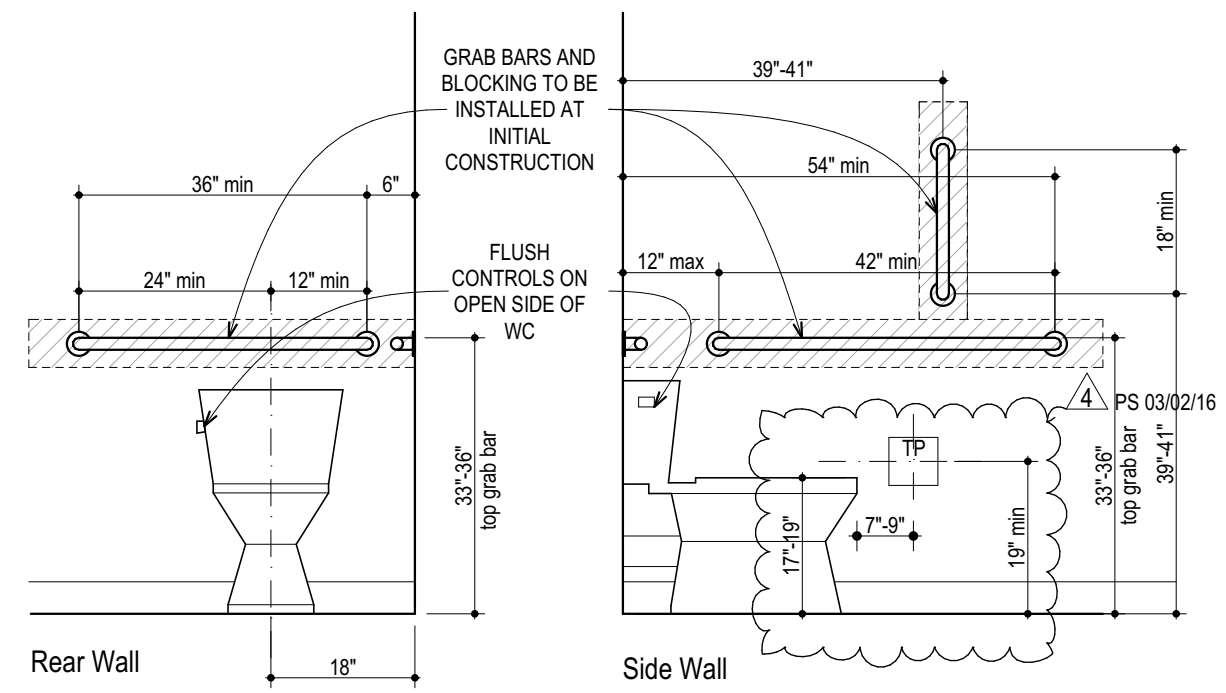
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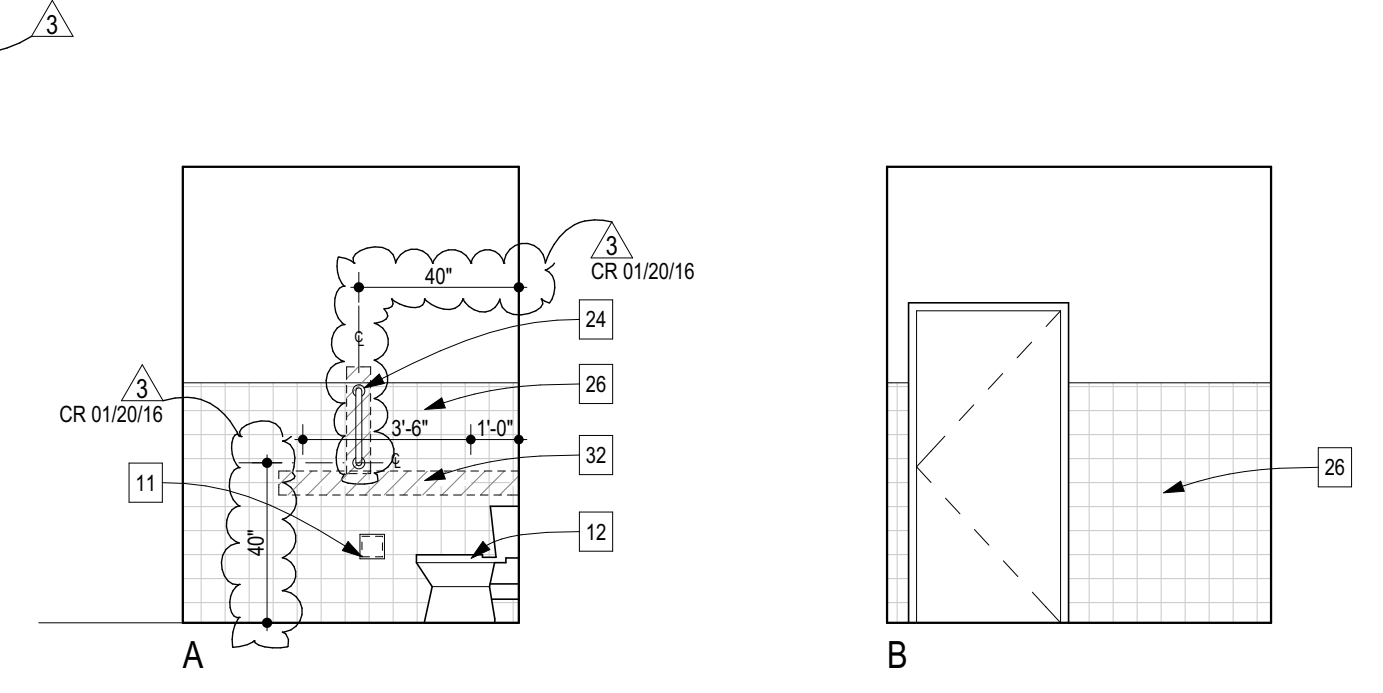
Details

A-501



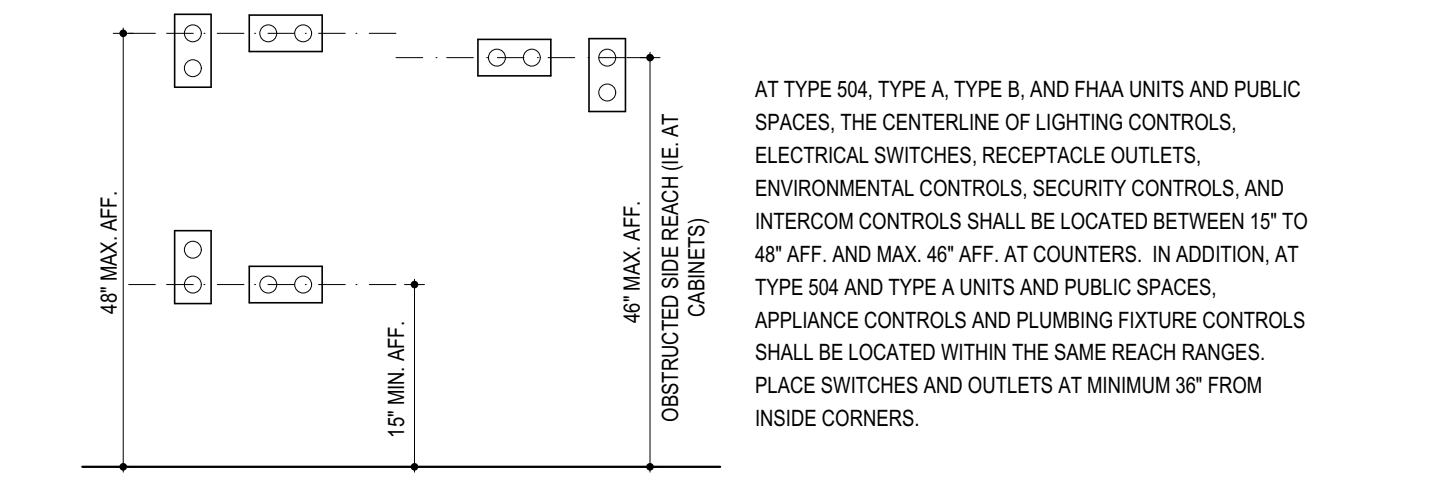
**8 Public Toilet**

SCALE: 1/2" = 1'-0"



**7 First Floor Restroom**

SCALE: 1/4" = 1'-0"



**9 Typical Operable Parts and Operating Controls**

SCALE: 1/2" = 1'-0"

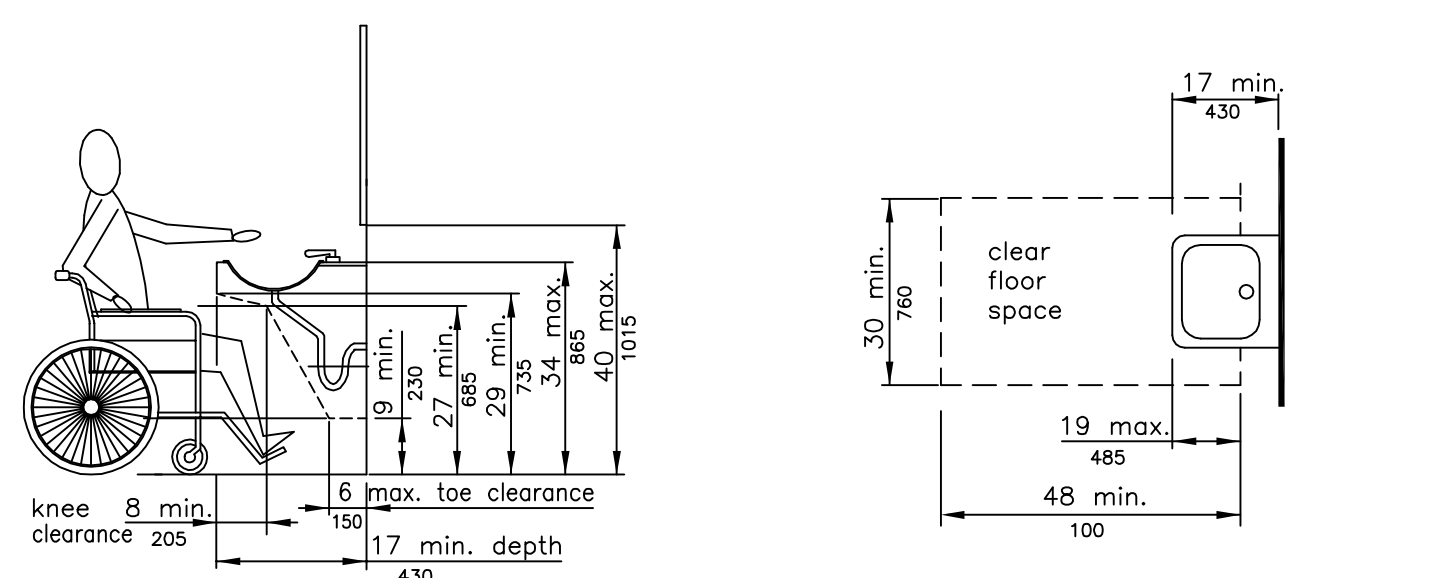
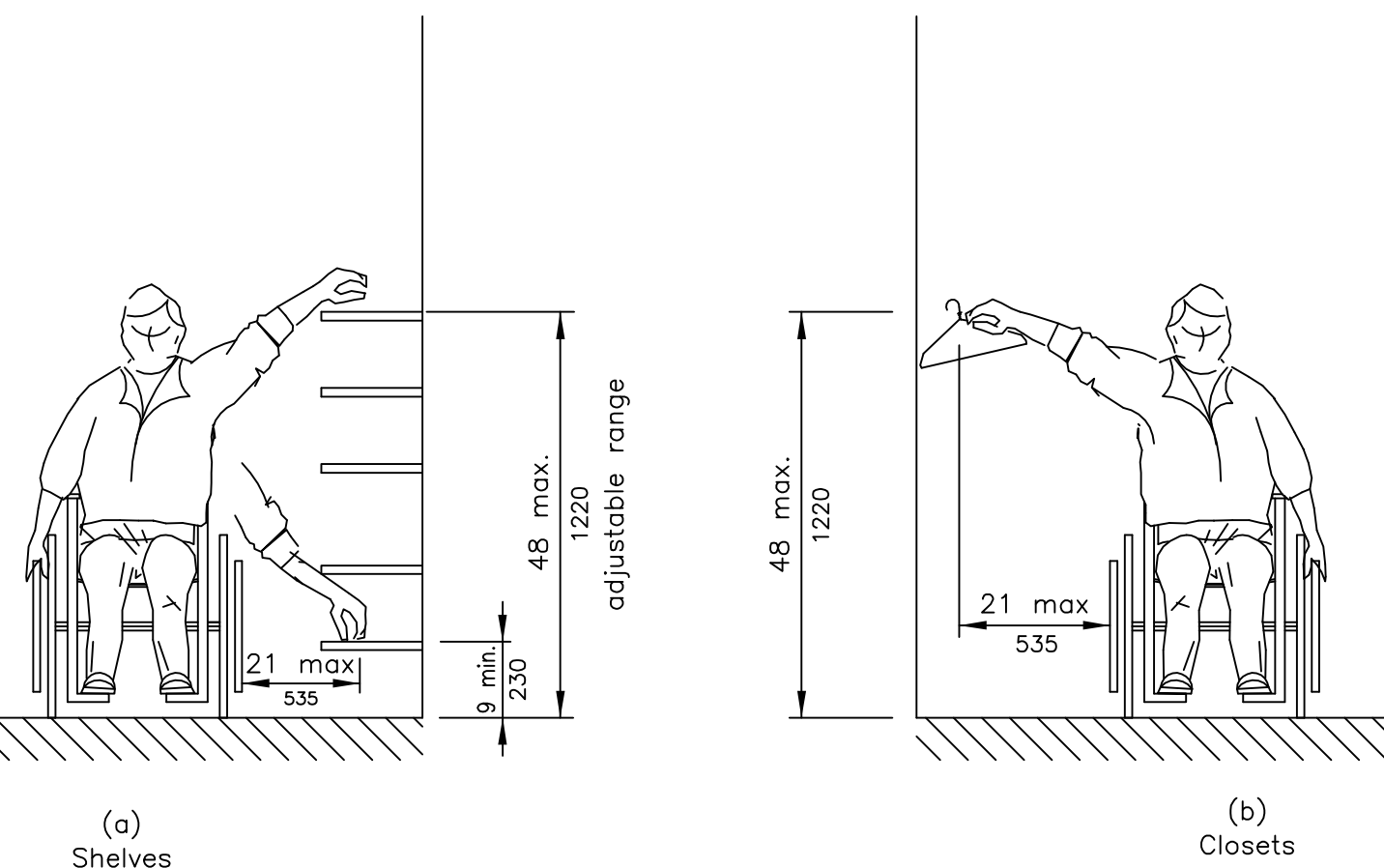


Fig. 31 Lavatory Clearances  
Fig. 32 Clear Floor Space At Lavatories

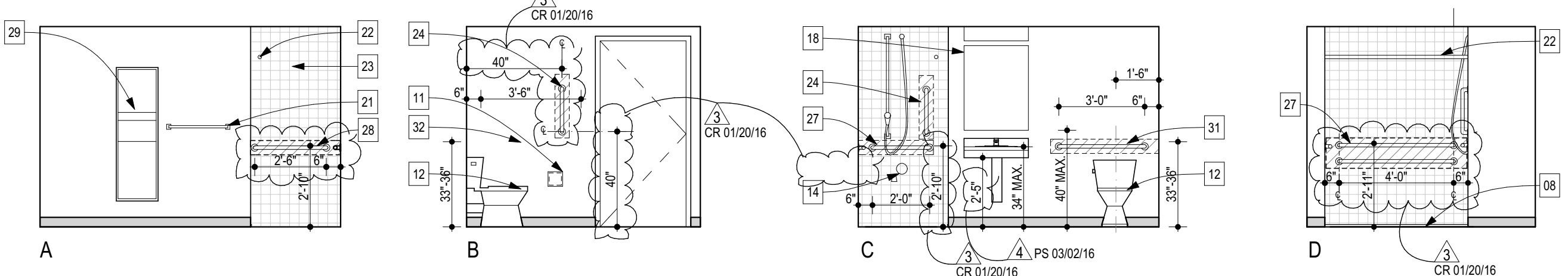
**10 Accessible Lavatory Clearances**

SCALE: 1" = 1'-0"



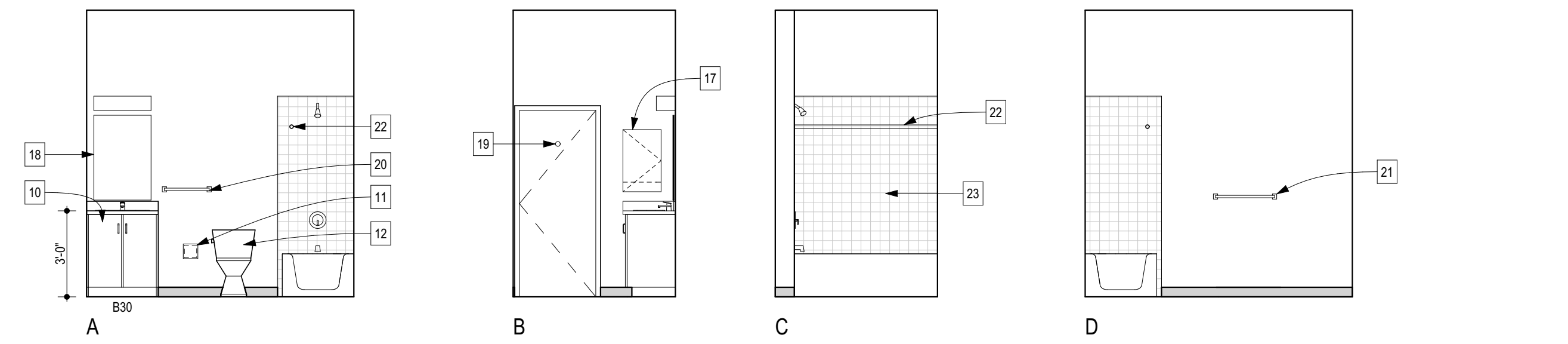
**11 Storage Shelves and Closet Reach Range**

SCALE: 1" = 1'-0"



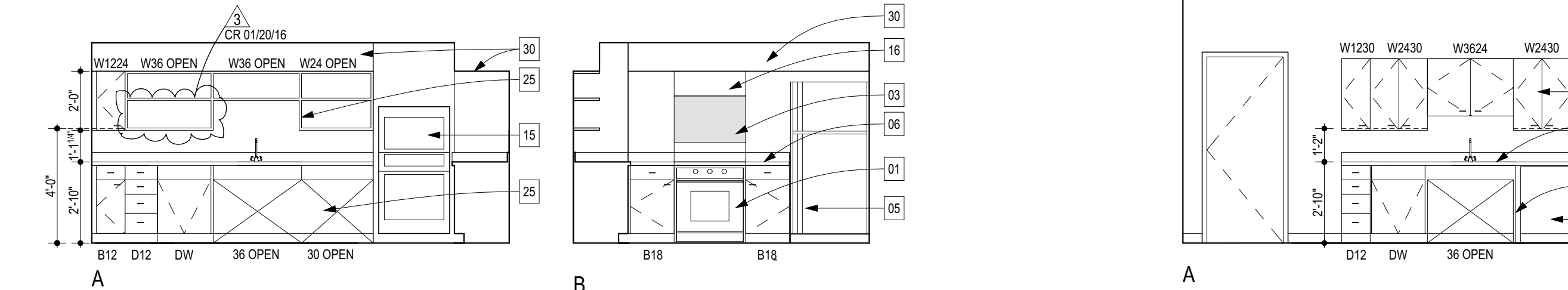
**6 Basement Restroom**

SCALE: 1/4" = 1'-0"



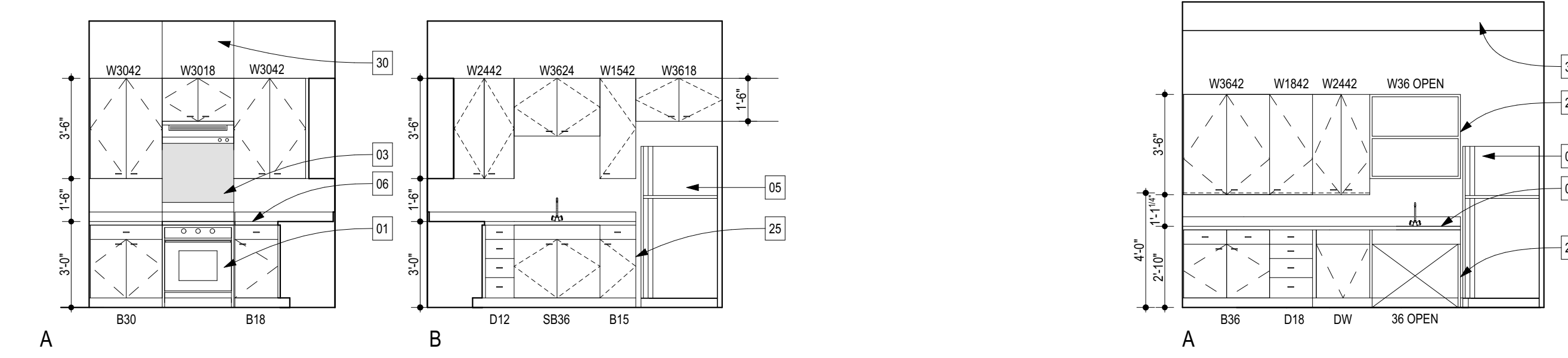
**5 2nd Floor Residential Unit Bathroom**

SCALE: 1/4" = 1'-0"



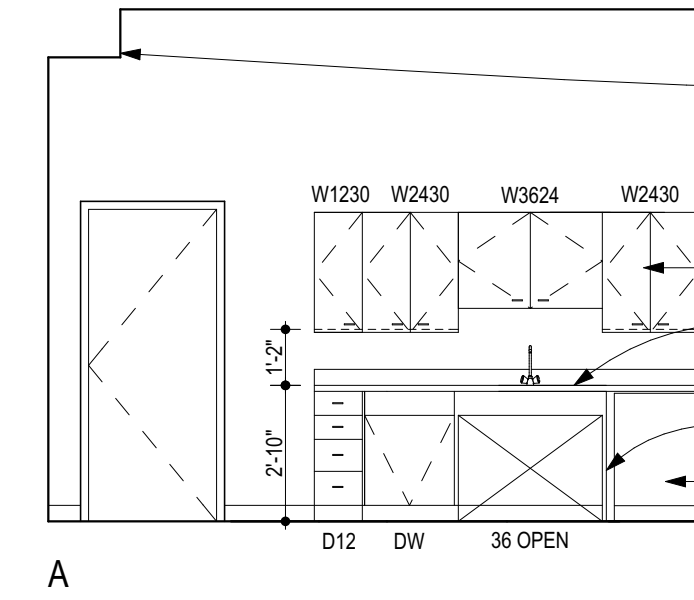
**3 Basement Kitchen**

SCALE: 1/4" = 1'-0"



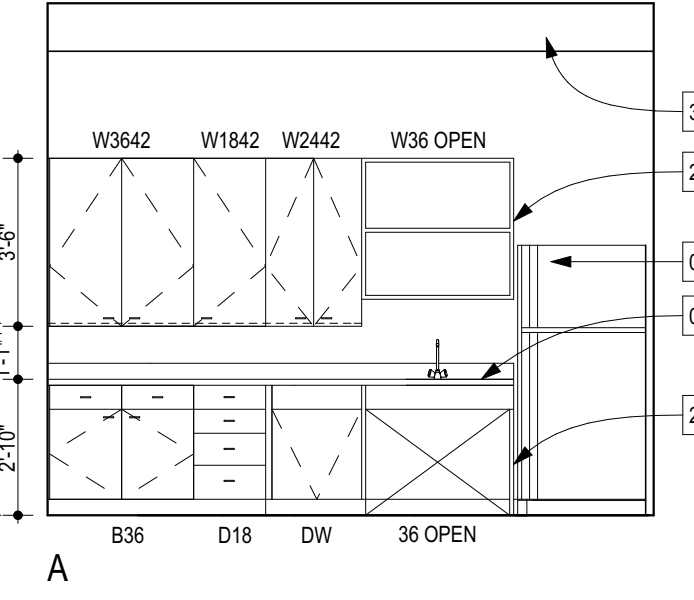
**1 2nd Floor Residential Unit Kitchen**

SCALE: 1/4" = 1'-0"



**4 Floor Office Shared Space Kitchenette**

SCALE: 1/4" = 1'-0"



**2 1st Floor Kitchenette**

SCALE: 1/4" = 1'-0"

**KEYED INT ELEV NOTES**

- 01 RANGE / OVEN W/ AN ENERGY STAR RANGE HOOD ABOVE. AT ACCESSIBLE KITCHEN. RANGE / OVEN SHALL BE ADA COMPLIANT AND HAVE FRONT CONTROLS TO PREVENT REACHING ACROSS BURNERS WITH A WALL MOUNTED SWITCH TO THE HOOD.
- 02 ADA COMPLIANT UNDERCOUNTER REFRIGERATOR
- 03 1 PIECE VINYL COATED METAL GREASE SHIELD. WIDTH TO EXTEND FROM EDGE OF CABINET TO EDGE OF CABINET AND TO EXTEND FROM THE UNDERSIDE OF THE UPPER CABINET TO THE TOP OF THE COUNTERTOP. ABOVE STOVE. PROVIDE 2 GREASE SHIELDS WHEN RANGE IS ADJACENT TO A SIDE WALL.
- 04 NOT USED
- 05 A COMBINATION ADA COMPLIANT ENERGY STAR RATED REFRIGERATOR AND FREEZER WITH MIN. 50% OF THE FREEZER COMPARTMENT SHELVES (INCLUDING THE BOTTOM OF THE FREEZER) AT MAX. 54" AFF. WHEN THE SHELVES ARE INSTALLED AT THE MAX. HEIGHTS POSSIBLE IN THE COMPARTMENT OR BE A VERTICAL SIDE-BY-SIDE REFRIGERATOR / FREEZER TYPE.
- 06 1 PIECE PLASTIC LAMINATE COUNTERTOP W/ BULLNOSED EDGES W/ SIDE SPLASHES AND AN INTEGRAL ROLLED FORMED BACKSPASH (NO BACKSPASHES ON ISLANDS OR AT TILE BACKSPASH).
- 07 ADA COMPLIANT ROLL-IN SHOWER WITH RUBBER WATER STOP STRIP
- 08 NOT USED
- 09 NOT USED
- 10 1 PIECE CULTURED MARBLE COUNTERTOP. BACKSPASH AND SIDESPLASH W/ BULLNOSED EDGES.
- 11 AT FIRST FLOOR AND BASEMENT, THE BOTTOM OF THE TOILET PAPER DISPENSER SHALL BE MIN. 15" AFF. AND HORIZONTALLY 7" TO 9" FROM THE FACE OF THE TOILET TO THE CENTER OF THE DISPENSER. STANDARD MOUNTING HEIGHT AT SECOND FLOOR RESIDENTIAL UNITS
- 12 THE TOILET SEAT AT FIRST FLOOR AND BASEMENT SHALL BE LOCATED BETWEEN 15" TO 19" AFF. AND AT THE FIRST FLOOR, THE TOP OF THE TOILET SEAT SHALL BE LOCATED BETWEEN 17" TO 19" AFF. STANDARD TOILET AT SECOND FLOOR RESIDENTIAL UNITS
- 13 AT THE FIRST FLOOR AND BASEMENT, THE FLUSH CONTROLS SHALL BE ON THE WIDE SIDE OF THE TOILET AT MAX. 44" AFF.
- 14 AT BASEMENT SHOWER, SHOWER CONTROLS, OTHER THAN DRAIN STOPPERS, SHALL BE OFFSET AND LOCATED BETWEEN THE GRAB BAR LOCATION AND BETWEEN THE OPEN SIDE OF THE SHOWER AND THE MIDPOINT WIDTH OF THE SHOWER. PROVIDE A HANDHELD 60" LONG SHOWER HOSE WITH A NON-POSITIVE SHUT-OFF FEATURE ON A MIN. 30" ADJUSTABLE BAR SO THE HANDHELD CAN BE FIRED. THE TOP OF THE LOWEST POINT OF THE OPERABLE PART OF THE HANDHELD TO BE LOCATED AT MAX. 48" AFF.
- 15 ADA COMPLIANT BUILT-IN DOUBLE CONVECTION WALL OVEN
- 16 30" X 24" TYPE II RANGE HOOD WITH A WALL MOUNTED SWITCH TO HOOD, REFER TO MECH. DRAWINGS
- 17 16" WIDE X 22" HIGH RECESSED MEDICINE CABINET. COORDINATE ALL TRADES IN THE WALL.
- 18 36" HIGH SURFACE MOUNTED FRAMELESS MIRROR. WIDTH OF MIRROR TO BE SAME WIDTH AS BASE CABINET AND 30" WIDE AT WALL HUNG SINKS.
- 19 PROVIDE ONE ROBE HOOK AT 60" AFF.
- 20 18" TOWEL BAR AT 42" AFF.
- 21 24" TOWEL BAR AT 42" AFF.
- 22 ALL BATHTUBS AND SHOWER STALLS SHALL HAVE A CURTAIN ROD CENTERED OVER THE BATHTUB AND SHOWER EDGE AND SCREWED INTO THE WALL WITH CONCEALED FASTENERS.
- 23 ALL BATHTUBS AND SHOWER STALLS SHALL HAVE 4" CERAMIC TILE SURROUND ON ALL THREE SIDES TO THE HEIGHT OF 7'-0" AFF. (NOT SHOWN FOR CLARITY). TILE TO HAVE ONE FIELD COLOR AND TWO ACCENT COLORS. 15% OF PRIMARY ACCENT TILE TO BE PRICE GROUP 2. 5% OF SECONDARY ACCENT TILE TO BE PRICE GROUP 2. 80% OF FIELD TILE TO BE PRICE GROUP 1 (PRICE GROUPS BASED ON DAL TILE OR APPROVED EQUAL MANUFACTURER).
- 24 18" GRAB BAR AND BLOCKING
- 25 FINISHED END PANEL AT ALL EXPOSED ENDS EVEN IF NOT NOTED
- 26 6" CERAMIC TILE WAINSCOT W/ FLAT EDGE AND METAL SCHLUTER TRIM, 60" TALL. TILE TO HAVE ONE FIELD COLOR AND TWO ACCENT COLORS. 15% OF PRIMARY ACCENT TILE TO BE PRICE GROUP 2. 5% OF SECONDARY ACCENT TILE TO BE PRICE GROUP 2. 80% OF FIELD TILE TO BE PRICE GROUP 1 (PRICE GROUPS BASED ON DAL TILE OR APPROVED EQUAL MANUFACTURER).
- 27 24" GRAB BAR AND BLOCKING
- 28 12" GRAB BAR AND BLOCKING
- 29 RECESSED PAPER TOWEL AND TRASH RECEPTACLE
- 30 GYP. BD. SOFFIT, REFER TO REFLECTED CEILING PLAN
- 31 36" GRAB BAR AND BLOCKING
- 32 42" GRAB BAR AND BLOCKING
- 33 GRAB BAR AND BLOCKING PER PLAN AND ELEVATIONS

**TYPICAL INTERIOR ELEVATION NOTES**

AT TYPE A UNITS AND AT THE FIRST FLOOR, PROVIDE AN ADDITIONAL ELECTRICAL SWITCH FOR THE UNDERCABINET LIGHT AND RANGE HOOD AT MAX. 48" AFF. AND MAX. 48" AFF. AT CABINETS.

ALL EXPOSED CABINET SIDES SHALL BE FINISHED. PROVIDE FILLER CABINET PIECES AS REQUIRED AT ALL GAPS. FILLER PIECES SHALL BE < 3".

ALL KITCHEN AND BATHROOM FAUCETS, DOORS, AND OPERABLE PARTS SHALL BE LEVER-TYPE AND HAVE MAXIMUM 5 LB FORCE TO OPERATE. SEE SCHEDULES FOR ADDITIONAL INFORMATION.

ADA COMPLIANT TEXTURED GRAB BARS W/ BLOCKING SHALL BE INSTALLED AT INITIAL CONSTRUCTION AT BASEMENT AND FIRST FLOOR TOILET ROOMS.

THE DEPTH OF THE BATHROOM AND KITCHEN SINK BOWLS AT BASEMENT AND FIRST FLOOR SHALL BE MAX. 6 1/2". INSULATE OR PROTECT ALL EXPOSED PIPES UNDER CABINETS AND WALL HUNG SINKS AT INITIAL CONSTRUCTION.

THE FINISHED FLOOR, BASE TRIM AND FINISHED CABINET SIDES SHALL EXTEND UNDERNEATH ALL REMOVABLE AND OPEN CABINETS AND WALL HUNG SINKS. PROVIDE BLOCKING TO SUPPORT CABINETS AT INITIAL CONSTRUCTION WITH THE BOTTOM OF CABINET APRONS AT MIN. 29" AFF. REMOVABLE CABINETS MUST BE ABLE TO BE RELOCATED TO 29" TO 36" AFF. WITHOUT CUTTING THE COUNTER OR DAMAGING ADJACENT CABINETS, WALLS, DOORS AND STRUCTURAL ELEMENTS AND HAVE ROUGH-IN PLUMBING CONNECTIONS OF SUPPLY AND DRAIN PIPES AT 28" TO 29" AFF.

THE TOP OF THE LAVATORY AT REMOVABLE CABINETS SHALL BE MAX. 34" AFF. AT INITIAL CONSTRUCTION.

SEE PLANS FOR ACTUAL ROOM SIZE OF THE BATHROOMS. THE INTERIOR ELEVATION ROOM SIZES ARE DIAGRAMMATIC. VERIFY ALL KITCHEN AND BATHROOM DIMENSIONS IN FIELD.

ALL CABINETS AT BASEMENT AND FIRST FLOOR TO HAVE U-PLUGS.

AT BASEMENT AND FIRST FLOOR, PROVIDE REINFORCING IN THE WALLS AT ALL UPPER CABINETS SO THE TOP SURFACE OF THE LOWEST SHELVES SHALL BE NO HIGHER THAN 48" AFF.

BATHROOMS WITH SHOWERS ARE ALL TYPE B ACCESSIBLE.

CABINETS TO BE SOLID HARDWOOD PLYWOOD (AMBERLEAF OR APPROVED EQUAL).

KITCHEN COUNTERTOPS TO BE PERFORMED PLASTIC LAMINATE GFSO ON 3/4" PARTICLE BOARD WITH NO-DROP FRONT EDGE AND INTEGRAL MOLDED BACKSPASH (FORMICA, WILSONART OR APPROVED EQUAL). BATHROOM COUNTERTOPS TO BE CULTURED MARBLE (CERLENE PRODUCTS OR APPROVED EQUAL) WITH MATCHING BACKSPASH AND SIDESPLASH.

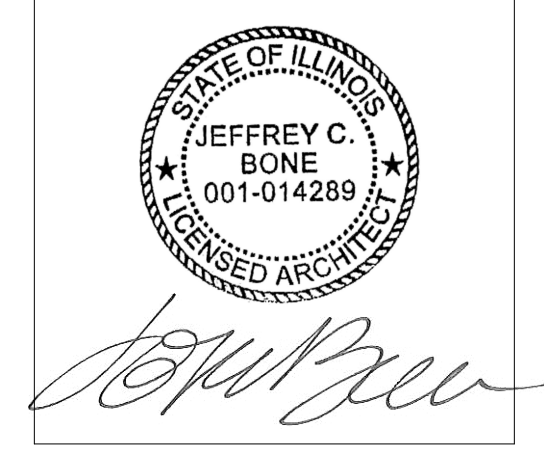
UNIT BATHROOM ACCESSORIES TO BE POLISHED CHROME AND SHALL INCLUDE FRANKLIN BRASS F1402 ROBE HOOKS, 161CS SHOWER ROD, 4018PC AND 4024PC TOWEL BAR, AND 4088PC TOILET PAPER HOLDER. (OR APPROVED EQUAL).

GRAB BARS SHALL BE 0.05" THICK STAINLESS STEEL WITH PEENED/TEXTURED NO. 4 FINISH (SANTN) WITH CONCEALED FASTENERS. GRAB BARS SHALL BE ADA COMPLIANT AND HAVE A CIRCULAR CROSS SECTION OF OUTSIDE DIAMETER OF 1 1/2". ALLOWABLE STRESSES SHALL NOT BE EXCEEDED FOR ANY MATERIALS USED WHEN A VERTICAL OR HORIZONTAL FORCE OF 250 LB (112 N) IS APPLIED AT ANY POINT ON THE GRAB BAR, FASTENER, MOUNTING DEVICE, OR SUPPORTING STRUCTURE.

CONSUMER INFORMATION:  
THE OWNER / DEVELOPER SHALL PROVIDE CONSUMER INFORMATION IN EACH TYPE A AND TYPE B. ADAPTABLE, VISITABLE AND FHAA UNITS AVAILABLE FOR OCCUPANCY AND SHOULD INCLUDE THE FOLLOWING:  
1. NOTIFICATION OF THE ALTERNATE HEIGHTS AVAILABLE FOR THE KITCHEN COUNTER AND SINK, AND THE EXISTENCE OF REMOVABLE CABINETS AND BASES, IF PROVIDED, UNDER COUNTERS, SINKS AND LAVATORIES.  
2. NOTIFICATION OF THE PROVISIONS FOR THE INSTALLATION OF GRAB BARS AT TOILETS, BATHTUBS AND SHOWERS.  
3. NOTIFICATION THAT THE DWELLING UNIT IS EQUIPPED TO HAVE A VISUAL EMERGENCY ALARM INSTALLED.  
4. IDENTIFICATION OF THE LOCATION WHERE INFORMATION AND INSTRUCTIONS ARE AVAILABLE FOR CHANGING THE HEIGHT OF THE COUNTERS, REMOVING CABINETS AND BASES, INSTALLING A VISUAL EMERGENCY ALARM SYSTEM, AND INSTALLING GRAB BARS.  
5. NOTIFICATION THAT THE DWELLING UNIT HAS BEEN DESIGNED IN ACCORDANCE WITH THE UNIFORM FEDERAL ACCESSIBILITY STANDARDS AND ALL OTHER APPLICABLE STANDARDS.

THE OWNER / DEVELOPER RESPONSIBLE FOR MAKING ADAPTIONS SHALL BE PROVIDED WITH THE FOLLOWING INFORMATION:  
1. INSTRUCTIONS FOR ADJUSTING OR REPLACING THE KITCHEN COUNTER AND SINK HEIGHTS FOR REMOVING CABINETS.  
2. A SCALE DRAWING SHOWING METHODS AND LOCATIONS FOR THE INSTALLATION OF GRAB BARS.  
3. A SCALE DRAWING SHOWING THE LOCATION OF ADJUSTABLE OR REPLACEABLE COUNTER AREAS AND REMOVABLE CABINETS.  
4. IDENTIFICATION OF THE LOCATION OF ANY EQUIPMENT AND PARTS REQUIRED FOR ADJUSTING OR REPLACING COUNTERTOPS, CABINETS, AND SINKS.  
5. INSTRUCTIONS FOR INSTALLING A VISUAL EMERGENCY ALARM SYSTEM, IF THE DWELLING UNIT IS EQUIPPED FOR SUCH INSTALLATION.

Revision	Date	Description
01	08/03/2016	ISSUED FOR PERMIT
02	09/20/2016	ISSUED FOR PERMIT REVISION 1
03	11/13/2016	ISSUED FOR PERMIT REVISION 2
04	01/11/2016	ISSUED FOR PERMIT REVISION 3
05	01/20/2016	ISSUED FOR PERMIT REVISION 4
06	03/02/2016	



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1505

Interior Elevations

**A-601**

**GENERAL**

- CODES AND STANDARDS  
BUILDING CODE: CHICAGO BUILDING CODE, 2014 DESIGN LOADS:
- FLOOR LIVE LOADS:  
DWELLING UNITS: 40 PSF  
OFFICES: 50 PSF  
PARTITIONS: 20 PSF  
PUBLIC AREAS, LOBBIES: 100 PSF  
PUBLIC STAIRS: 100 PSF  
DECKS: 100 PSF  
ROOF LIVE LOAD 25 PSF  
ROOF SNOW LOAD  
FLAT ROOF SNOW LOAD: 25 PSF  
WIND LOADS  
MAIN WIND FORCE-RESISTING SYSTEM: 20 PSF  
COMPONENTS & CLADDING (OTHER THAN CORNER): 25 PSF  
COMPONENTS & CLADDING (CORNERS): 30 PSF  
PARAPETS: 40 PSF  
HANDRAIL LOAD  
DESIGN FOR THE MOST CRITICAL OF THE FOLLOWING LOADING:  
-SIMULTANEOUS VERTICAL & HORIZONTAL THRUST: 50 PLF  
-VERTICAL THRUST: 200 PLF  
-HORIZONTAL THRUST: 200 PLF  
APPLY LOAD AT THE TOP OF THE HANDRAIL
- DIMENSIONS ON STRUCTURAL DRAWINGS ARE TO BE CHECKED AGAINST ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS AS WELL AS AGAINST FIELD CONDITIONS BY CONTRACTORS.
- UNLESS NOTED OTHERWISE, DETAILS, SECTIONS, AND NOTES ON THE DRAWINGS ARE INTENDED TO BE TYPICAL FOR SIMILAR CONDITIONS.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE LOCATION AND PLACEMENT OF INSERTS, HANGERS, SLEEVES, DUCTWORK, PADS AND ANCHOR RODS THAT ARE REQUIRED BY MECHANICAL EQUIPMENT.
- IF DISCREPANCIES APPEAR ON THE CONTRACT DOCUMENTS, OR BETWEEN THE CONTRACT DOCUMENTS AND EXISTING CONDITIONS, THE CONTRACTOR SHALL REQUEST AN INTERPRETATION FROM THE ARCHITECT BEFORE BIDDING. IF THE CONTRACTOR FAILS TO MAKE SUCH REQUEST, IT IS PRESUMED THAT BOTH PROVISIONS WERE INCLUDED IN THE BID AND THE ARCHITECT SHALL DETERMINE WHICH OF THE CONFLICTING REQUIREMENTS SHALL GOVERN. THE CONTRACTOR SHALL PERFORM THE WORK AT NO ADDITIONAL COST TO THE OWNER IN ACCORDANCE WITH THE ARCHITECT'S DETERMINATION.

**CONCRETE**

- CONCRETE WORK SHALL BE IN ACCORDANCE WITH THE "BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE (ACI 318)", LATEST EDITION.
- UNLESS NOTED OTHERWISE, CONCRETE SHALL BE NORMAL WEIGHT CONCRETE AND SHALL DEVELOP 3000 PSI MINIMUM COMPRESSIVE STRENGTH IN 28 DAYS.
- VERTICAL WALL CONSTRUCTION JOINTS SHALL BE FORMED WITH VERTICAL BULKHEADS AND KEYWAYS. WALL REINFORCING SHALL BE CONTINUOUS THROUGH THE JOINT OR SHALL BE DOWELED WITH AN EQUIVALENT AREA OF REINFORCEMENT.
- NO SLAB SHALL HAVE COLD JOINTS IN A HORIZONTAL PLANE.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE LOCATION AND PLACEMENT OF INSERTS, EMBEDDED PLATES, MASONRY ANCHORS, REGLETS, SLEEVES, DUCTWORK, PADS AND ANCHOR RODS. THE INSERTS, EMBEDDED PLATES, ETC. SHALL NOT INTERFERE WITH CONCRETE REINFORCEMENT LOCATION.
- NO OPENING SHALL BE MADE IN ANY STRUCTURAL MEMBER WITHOUT THE WRITTEN APPROVAL OF THE ARCHITECT.
- EXPOSED EXTERNAL CONCRETE CORNERS SHALL BE CHAMFERED 3/4 INCHES, UNLESS SHOWN OR NOTED OTHERWISE.
- SLABS ON GRADE SHALL BE PLACED IN ALTERNATE STRIPS WITH A MAXIMUM WIDTH OF 60'-0" OR AS SHOWN ON PLAN. CONTROL JOINTS SHALL BE CUT WITHIN 24 HOURS AFTER THE CONCRETE HAS SET. CONTROL JOINTS SHALL NOT EXCEED 15'-0" INTERVALS IN EACH DIRECTION, AND SHALL BE LOCATED TO CONFORM WITH BAY SPACING WHEREVER POSSIBLE (I.E. AT COLUMN CENTERLINES, HALF-BAYS, THIRD-BAYS).
- DEPRESSED SLABS SHALL MAINTAIN FULL THICKNESS UNLESS NOTED OTHERWISE.

**REINFORCEMENT**

- UNLESS NOTED OTHERWISE, REINFORCEMENT SHALL CONFORM TO ASTM SPECIFICATION A615, GRADE 60.
  - CORNER BARS SHALL BE PROVIDED AT WALL CORNERS EQUAL TO THE HORIZONTAL WALL REINFORCEMENT.
  - ALL CONCRETE FORMED SLAB OR WALL OPENINGS SHALL BE REINFORCED WITH 2 NO. 5 BARS PLACED ONE IN EACH FACE AT 45 DEGREES TO OPENING CORNERS.
  - THE FOLLOWING CONCRETE COVER SHALL BE PROVIDED FOR REINFORCEMENT UNLESS NOTED OTHERWISE:
- | MINIMUM CONCRETE PROTECTION FOR REINFORCEMENT             |  |                  |
|---|--|------------------|
| CONCRETE ELEMENT  |  | MIN. COVER (IN.) |
| CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH    |  | 3"               |
| CONCRETE EXPOSED TO EARTH OR WEATHER:                     |  |                  |
| #6 THROUGH #18 BARS                                       |  | 2"               |
| #5 BAR, W31 OR D31 WIRE, AND SMALLER                      |  | 1-1/2"           |
| CONCRETE NOT EXPOSED TO WEATHER OR IN CONTACT WITH GROUND |  |                  |
| SLABS, WALLS AND JOISTS                                   | #14 AND #18 BARS                               | 1-1/2"           |
|   | #11 BAR AND SMALLER                            | 3/4"             |
| BEAMS AND COLUMNS   | PRIMARY REINFORCEMENT, TIES, STIRRUPS, SPIRALS | 1-1/2"           |
- ARRANGEMENT AND DETAILS OF REINFORCEMENT, INCLUDING BAR SUPPORTS AND SPACERS, SHALL BE IN ACCORDANCE WITH THE "A.C.I. DETAILING MANUAL (ACI SP-66)", LATEST EDITION.
  - PROVIDE ALL ACCESSORIES NECESSARY TO SUPPORT REINFORCEMENT AT THE POSITIONS INDICATED. PLASTIC COATED ACCESSORIES SHALL BE USED IN ALL EXPOSED CONCRETE WORK.
  - ALL EMBEDMENT LENGTHS AND LAPS SHALL BE AS REQUIRED BY ACI 318. UNLESS NOTED OTHERWISE, MINIMUM LAP SHALL BE 40 BAR DIAMETERS.

**MASONRY**

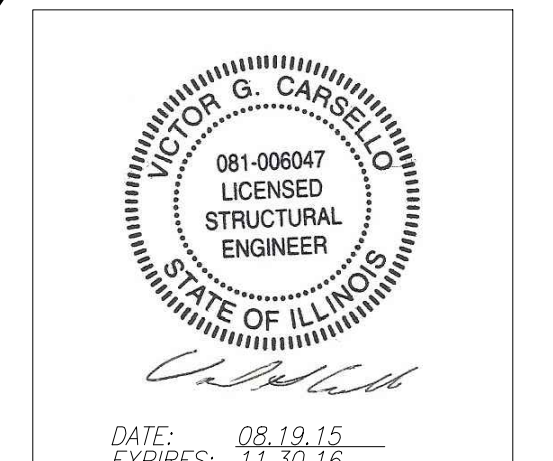
- DESIGN AND CONSTRUCTION OF MASONRY SHALL BE IN ACCORDANCE WITH THE ACI/ASCE/TMS "BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES" (ACI 530/ASCE 5/TMS 402) AND "SPECIFICATIONS FOR MASONRY STRUCTURES" (ACI 530.1/ASCE 6/TMS 602), LATEST EDITIONS.
- QUALITY ASSURANCE AND INSPECTION OF MASONRY CONSTRUCTION ARE REQUIRED AS DEFINED BY THE "SPECIFICATION FOR MASONRY STRUCTURES" AND/OR THE BUILDING CODE.
- MATERIALS FOR MASONRY CONSTRUCTION SHALL CONFORM TO THE FOLLOWING SPECIFICATIONS:  
SPECIFIED COMPRESSIVE STRENGTH OF MASONRY:  $f'm = 1500$  PSI  
CONCRETE MASONRY UNITS: ASTM C90, MEDIUM WEIGHT, TYPE II MIN. NET AREA COMPRESSIVE STRENGTH OF CONCRETE MASONRY UNITS = 2150 PSI  
MORTAR: ASTM C270, TYPE 'N'  
GROUT: ASTM C476  
MIN. COMPRESSIVE STRENGTH = 2000 PSI  
ASTM A615, GRADE 60  
ASTM A951, ASTM A82 (WIRE FOR JOINT REINF.)  
REINFORCING BARS: PLATE AND BENT BAR ANCHORS: ASTM A36  
HORIZONTAL JOINT REINFORCING: SHEET METAL ANCHORS & TIES: ASTM A366  
ANCHORS, TIES AND ACCESSORIES: WIRE MESH TIES: ASTM A185  
WIRE TIES AND ANCHORS: ASTM A82  
WIRE JOINT REINF., TIES AND ANCHORS: INTERIOR WALLS: ASTM A641 (0.1 OZ/SF)  
CORROSION PROTECTION: EXTERIOR WALLS: ASTM A153 (1.5 OZ/SF)  
ASTM A653, CLASS 60
- VERTICAL CELLS TO BE FILLED WITH GROUT SHALL BE ALIGNED TO PROVIDE A CONTINUOUS, UNOBSTRUCTED OPENING OF THE DIMENSIONS SHOWN ON THE PLANS. CELLS THAT WILL CONTAIN VERTICAL REINFORCEMENT SHALL HAVE A MINIMUM TWO INCH CLEAR OPENING.
- GROUT FOR FILLING REINFORCED OR NON-REINFORCED CELLS SHALL BE PLACED IN MAXIMUM FOUR (4) FOOT LIFTS AND CONSOLIDATED IN PLACE BY VIBRATION OR OTHER METHODS WHICH INSURE COMPLETE FILLING OF CELLS. ALL CELLS CONTAINING REINFORCING BARS SHALL BE FULLY GROUTED.
- HOLLOW MASONRY UNITS SHALL BE LAID WITH FULL MORTAR COVERAGE ON HORIZONTAL AND VERTICAL FACE SHELLS. WEBS SHALL ALSO BE BEDDED WHERE THEY ARE ADJACENT TO CELLS TO BE REINFORCED OR GROUTED SOLID, IN THE STARTING COURSE ON FOUNDATIONS, AND IN GROUTED PIERS, PILASTERS, AND COLUMNS.
- SOLID MASONRY UNITS SHALL BE LAID WITH FULL HEAD AND BED JOINTS. POINTS OF BEARING SHALL BE ON TWO (2) COURSES OF SOLID MASONRY OR TWO (2) COURSES OF HOLLOW MASONRY GROUTED SOLID.
- PROVIDE CONTINUOUS, 9 GAUGE LADDER TYPE GALVANIZED HORIZONTAL JOINT REINFORCEMENT AT 16" O.C. VERTICALLY AND IN THE FIRST COURSE ABOVE AND BELOW OPENINGS FOR A DISTANCE OF NOT LESS THAN 2'-0" BEYOND OPENINGS. PROVIDE ADJUSTABLE JOINT REINFORCEMENT AT MUTLI-WYTHE WALLS.
- THE MINIMUM CLEAR DISTANCE BETWEEN PARALLEL REINFORCING BARS, EXCEPT IN COLUMNS SHALL BE EQUAL TO THE NOMINAL BAR DIAMETER.
- VERTICAL REINFORCEMENT SHALL BE LAP SPLICED A MINIMUM OF 48 BAR DIAMETERS WHERE REQUIRED, U.N.O.
- ALL REINFORCEMENT SHALL BE COMPLETELY EMBEDDED IN MORTAR OR GROUT AND SHALL HAVE A COVERAGE OF MASONRY NOT LESS THAN:  
#5 BARS AND SMALLER: 1-1/2"  
BARS LARGER THAN #5: 2"
- PROVIDE GALVANIZED MASONRY ANCHORS ON BEAMS, GIRTS, AND COLUMNS IN CONTACT WITH MASONRY.
- UNLESS OTHERWISE NOTED, PROVIDE (2) #5 BARS, FULL HEIGHT, AT EACH SIDE OF OPENINGS.
- PROVIDE ADEQUATE TEMPORARY BRACING AS REQUIRED DURING CONSTRUCTION TO WITHSTAND ENVIRONMENTAL LATERAL LOADS AND THE PRESSURE FROM FLUID GROUT.

**WOOD**

- DESIGN AND CONSTRUCTION OF STRUCTURAL LUMBER SHALL BE IN ACCORDANCE WITH THE AMERICAN FOREST AND PAPER ASSOCIATION "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION (ANSI/AF&PA NDS-1991).
- QUALITY ASSURANCE AND INSPECTION OF WOOD CONSTRUCTION ARE REQUIRED AS DEFINED BY THE BUILDING CODE.
- STRUCTURAL LUMBER SHALL CONFORM TO THE FOLLOWING SPECIFICATIONS:  
SPECIES: DOUGLAS FIR-LARCH  
GRADE: NO. 1 & BETTER  
BENDING, Fb: 1200 PSI  
TENSION PARALLEL TO GRAIN, Ft: 800 PSI  
SHEAR PARALLEL TO GRAIN, Fv: 180 PSI  
COMPRESSION PERPENDICULAR TO GRAIN, Fc(p): 625 PSI  
COMPRESSION PARALLEL TO GRAIN, Fc: 1550 PSI  
MODULUS OF ELASTICITY, E: 1,800,000 PSI  
MAXIMUM IN USE MOISTURE CONTENT: 19%  
LAMINATED VENEER LUMBER (LVL) FOR USE AS BEAMS SHALL CONFORM TO THE FOLLOWING SPECIFICATIONS:  
BENDING, Fb: 2600 PSI  
SHEAR PARALLEL TO GRAIN, Fv: 285 PSI  
MODULUS OF ELASTICITY, E: 1,900,000 PSI  
PARALLEL STRAND LUMBER (PSL) FOR USE AS POSTS SHALL CONFORM TO THE FOLLOWING SPECIFICATIONS:  
COMPRESSION PARALLEL TO GRAIN, Fc: 2500 PSI  
MODULUS OF ELASTICITY, E: 1,800,000 PSI  
THERE SHALL BE NO FIELD CUTTING OF WOOD STRUCTURAL MEMBERS FOR THE WORK OF OTHER TRADES WITHOUT THE PRIOR APPROVAL OF THE ARCHITECT.  
NO WOOD TREATMENTS OR PRESERVATIVES SHALL BE USED WITHOUT THE PRIOR APPROVAL OF THE ARCHITECT..

**STRUCTURAL STEEL**

- STRUCTURAL STEEL WORK SHALL CONFORM TO THE AISC "SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS", AND THE AISC "CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES".
- STRUCTURAL STEEL WIDE FLANGE SHAPES SHALL CONFORM TO ASTM A992 PLATES, ANGLES, CHANNELS AND MISCELLANEOUS MATERIAL SHALL CONFORM TO ASTM A36. HOLLOW STRUCTURAL SECTIONS SHALL CONFORM TO ASTM A500, GRADE B. STEEL PIPE SECTIONS SHALL CONFORM TO ASTM A53, GRADE B.
- ANCHOR RODS SHALL BE ASTM F1554, GRADE 36, 3/4" DIAMETER WITH 4" HOOKS AND 9" EMBEDMENT, UNLESS NOTED OTHERWISE.
- HIGH STRENGTH BOLTING SHALL BE DONE IN ACCORDANCE WITH RCSC "SPECIFICATION FOR STRUCTURAL JOINTS USING ASTM A325 OR ASTM A490 BOLTS".
- BOLTS, NUTS AND WASHERS SHALL CONFORM TO THE REQUIREMENTS OF ASTM A325. BOLTS SHALL BE 3/4 INCH DIAMETER MINIMUM.
- WELDING SHALL BE DONE BY CERTIFIED WELDERS AND SHALL CONFORM TO AWS D1.1 "STRUCTURAL WELDING CODE - STEEL", LATEST EDITION. ALL WELDING ELECTRODES SHALL BE E70XX.
- THE FABRICATOR/ERECTOR SHALL SUBMIT TO THE ARCHITECT FOR REVIEW, ENGINEERED AND CHECKED DRAWINGS SHOWING SHOP FABRICATION DETAILS, FIELD ASSEMBLY DETAILS AND ERECTION DIAGRAMS FOR ALL STRUCTURAL STEEL.
- UNLESS NOTED OTHERWISE, CONNECTIONS SHALL BE EITHER AISC SINGLE PLATE OR DOUBLE ANGLE SHEAR CONNECTIONS USING A325-N BOLTS.
- FIELD CONNECTIONS, EXCEPT WHERE SHOWN TO BE WELDED, SHALL BE BOLTED.
- CONNECTIONS SHALL BE DESIGNED FOR THE BEAM REACTIONS INDICATED ON THE DRAWINGS. IN CASES WHERE REACTIONS ARE NOT INDICATED, THE MINIMUM ALLOWABLE SHEAR CAPACITY (ASD) SHALL BE EQUAL TO 60% OF THE MAXIMUM TOTAL UNIFORM LOAD.
- THE MINIMUM NUMBER OF BOLTS FOR ANY CONNECTION SHALL BE TWO (2). CONNECTIONS SHALL NOT BE LESS THAN ONE HALF THE DEPTH OF THE BEAM.
- BEAMS AND JOISTS SHALL BE FABRICATED WITH THE NATURAL CAMBER UP. PROVIDE CAMBERS AS INDICATED ON THE DRAWINGS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF ALL ERECTION PROCEDURES AND SEQUENCES WITH RELATION TO TEMPERATURE DIFFERENTIALS, ESPECIALLY WITH RESPECT TO STRUCTURAL STEEL FRAMING INTO CONCRETE WALLS, BEAMS OR COLUMNS.
- THERE SHALL BE NO FIELD CUTTING OF STRUCTURAL STEEL MEMBERS FOR THE WORK OF OTHER TRADES WITHOUT THE PRIOR WRITTEN APPROVAL OF THE ARCHITECT.
- ERECT AND MAINTAIN TEMPORARY BRACING TO INSURE THE ALIGNMENT AND STABILITY OF THE STRUCTURE DURING ERECTION UNTIL PERMANENT CONNECTIONS HAVE BEEN COMPLETED.



I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED UNDER MY SUPERVISION AND THAT THEY COMPLY TO THE BEST OF MY KNOWLEDGE WITH ALL THE BUILDING CODES AND ORDINANCES OF THE CITY OF CHICAGO, IL.

08.20.15  
11.30.16

Issued for Permit  
Permit Revisions

**Carsello Engineering Inc.**  
Consulting Structural Engineers  
2656 Wild Timothy Road Naperville, IL 60564 630.854.9567 - F 630.922.1160 - F

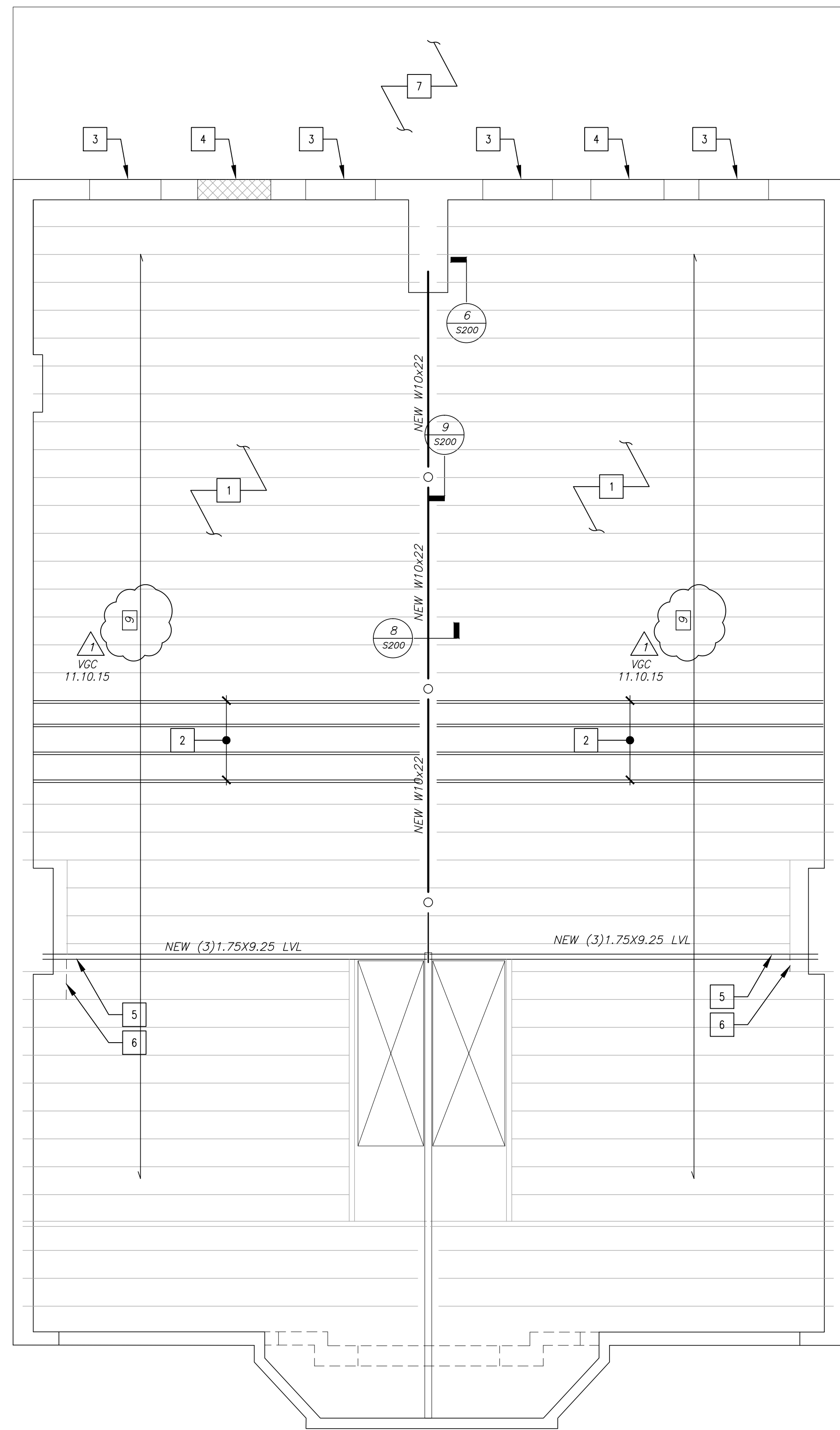
**CTU Immigrants Center**

9805 S Ewing Ave  
Chicago, IL 60617

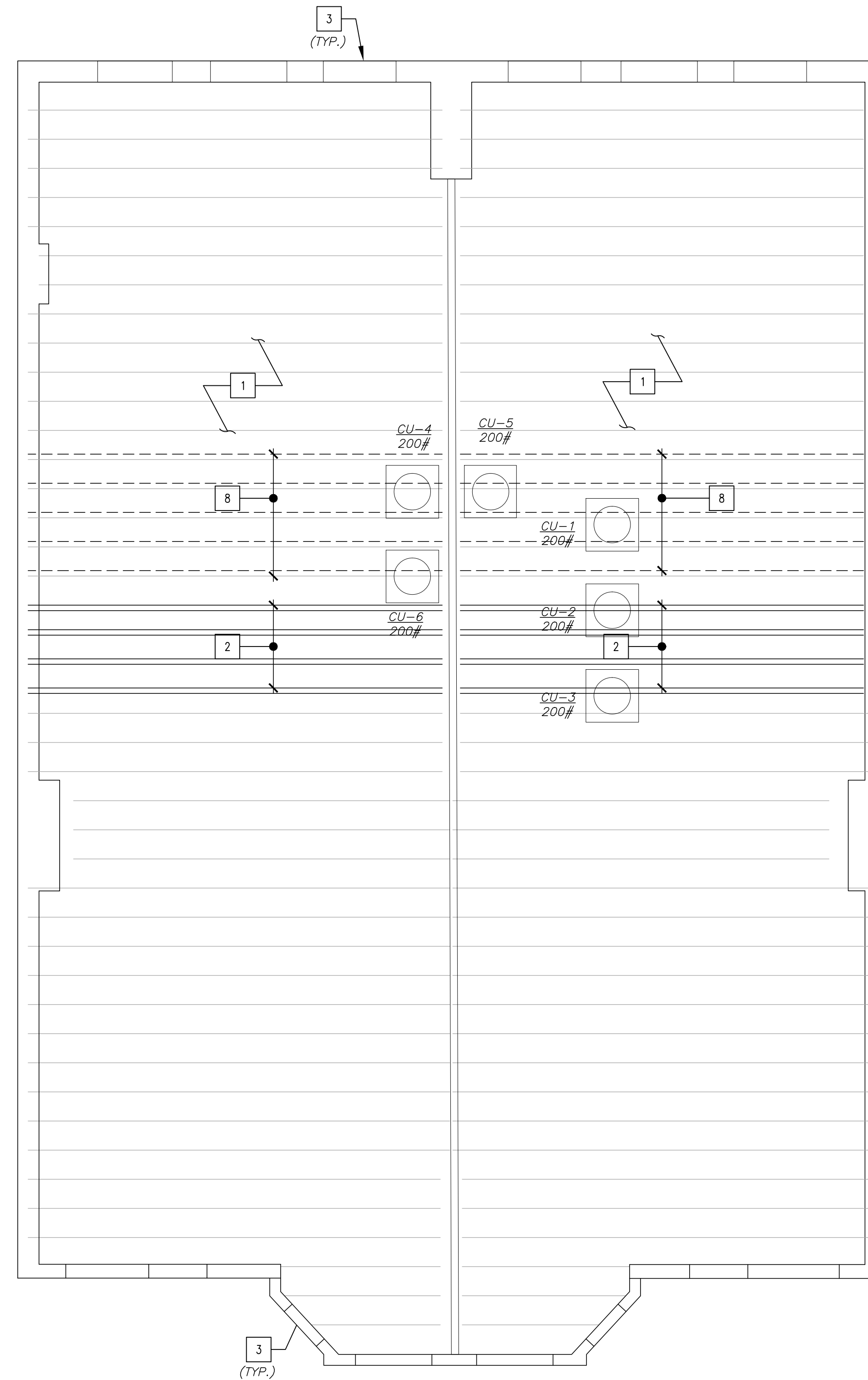
General Notes  
**S-000**







1 Second Floor Framing Plan  
 Scale: 1/4" = 1'-0"  
 0 2' 4' 8'  
 SCALE: 1/4" = 1'-0"



2 Roof Framing Plan  
 Scale: 1/4" = 1'-0"  
 0 2' 4' 8'  
 SCALE: 1/4" = 1'-0"

- PLAN KEYED NOTES
- 1 REMOVE AND REPLACE W/ 2x10 JOISTS WHERE EXISTING JOISTS ARE DAMAGED, NOTCHED, ROTTED OR ARE SAGGING IN EXCESS OF 1-1/2".
  - 2 NEW 2-2x10 AT 16" O.C. REPLACEMENT FRAMING AT ABANDONED LIGHT WELL FRAMING. VGC 11.10.15
  - 3 EXISTING OPENING TO REMAIN.
  - 4 INFILL EXISTING WINDOW OPENING.
  - 5 NEW LVL BEAM BEARING IN MASONRY WALL EACH END TO REPLACE EXISTING WOOD BEAM.
  - 6 CUT BACK EXISTING HEADER AND RESUPPORT ON NEW LVL W/ JOIST HANGER.
  - 7 NEW WOOD PORCH BY OTHERS.
  - 8 NEW 2x10 WOOD JOISTS SISTERED TO EXISTING JOISTS. SEE 7/S200 FOR TYPICAL DETAIL.
  - 9 NEW 3/4" TONGUE AND GROOVED PLYWOOD SHEATHING. VGC 11.10.15



DATE: 08.19.15  
 EXPIRES: 11.30.16

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08.20.15  
 11.10.15

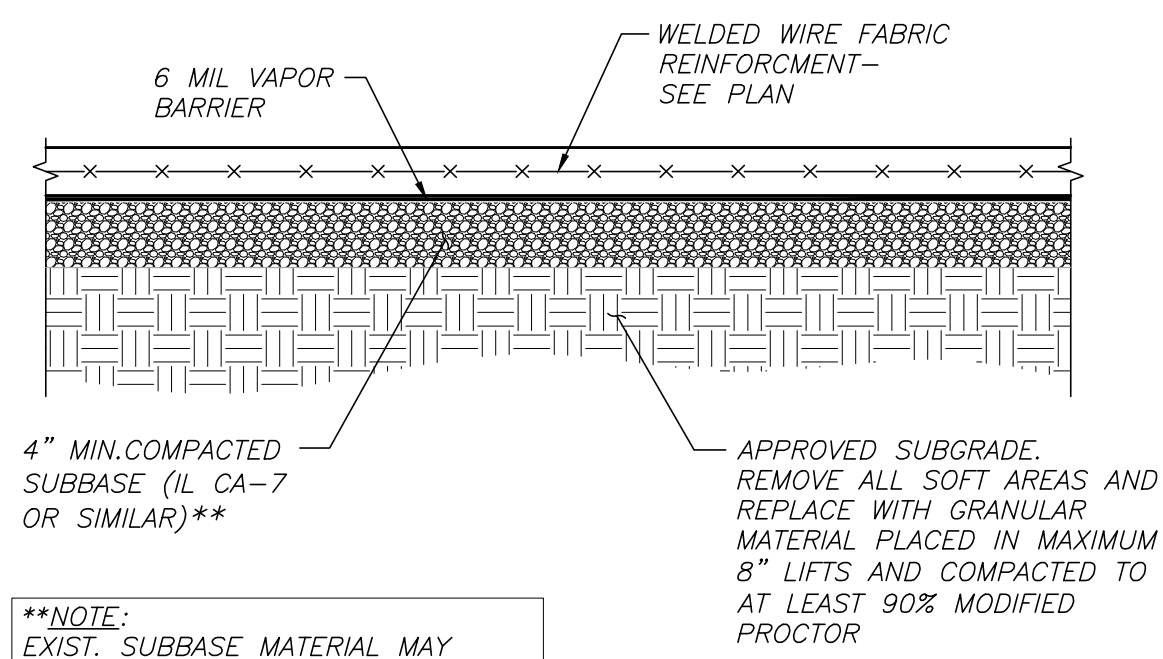
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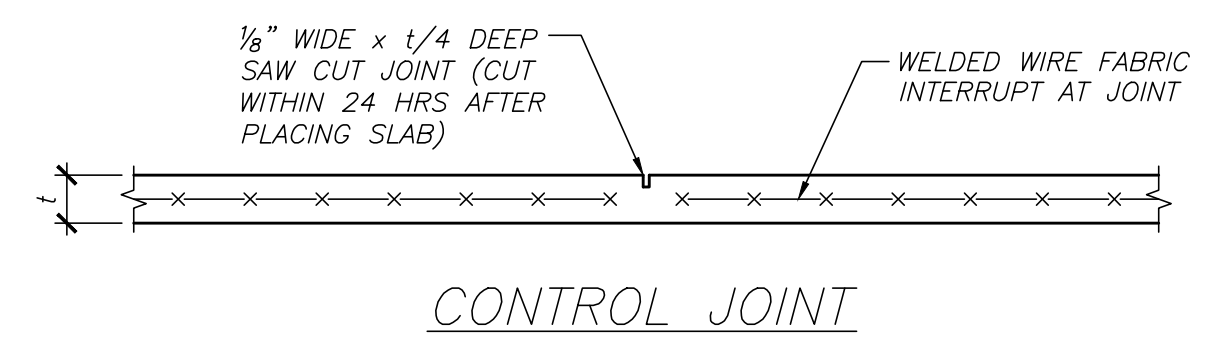
Second Floor Framing Plan  
 and Roof Framing Plan

S-102

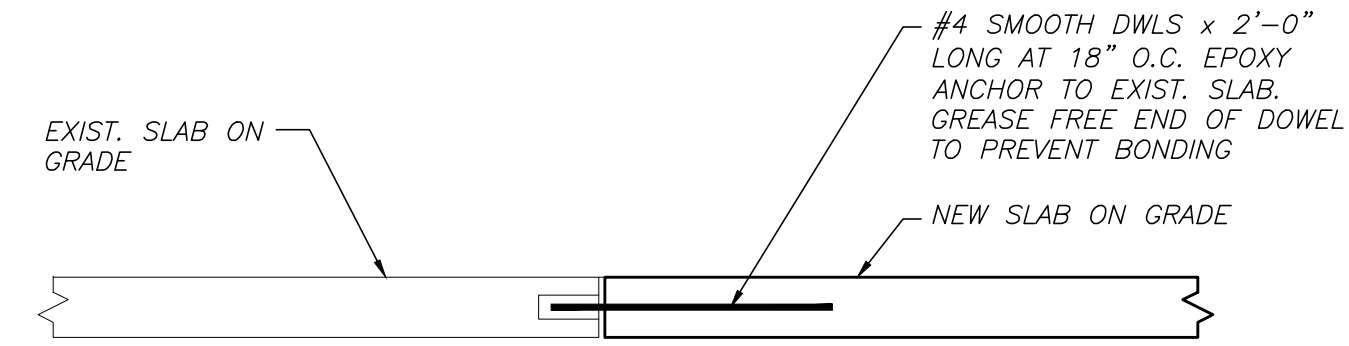


\*\*NOTE:  
EXIST. SUBBASE MATERIAL MAY  
BE RE-USED SUBJECT TO APPROVAL  
OF OWNER'S SOIL TESTING AGENCY

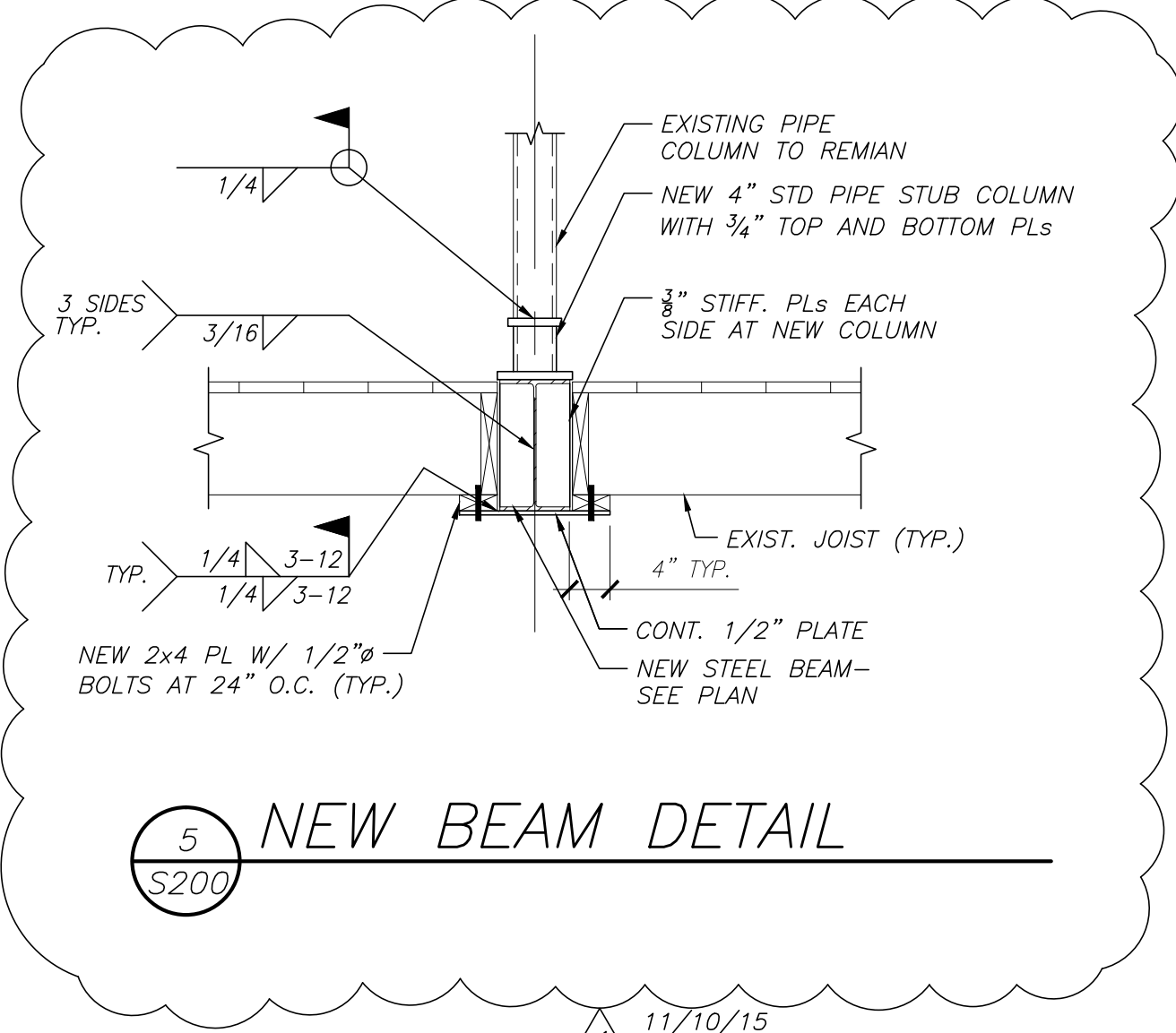
1 TYP. SLAB ON GRADE SECTION



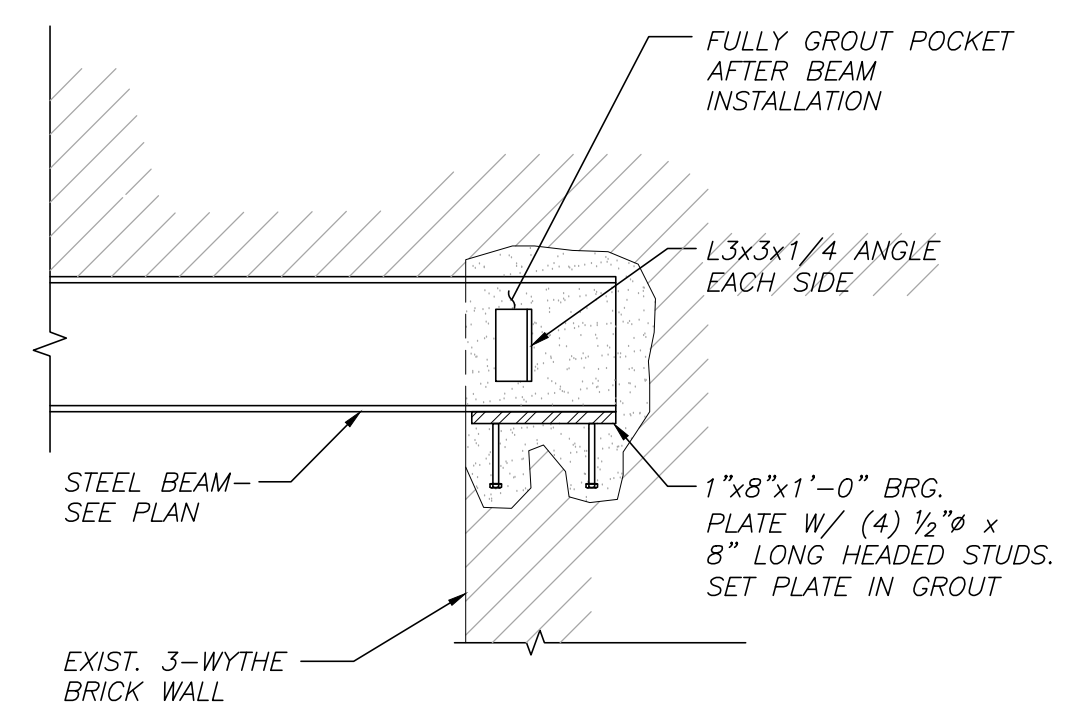
2 TYP. SLAB ON GRADE JOINT DETAILS



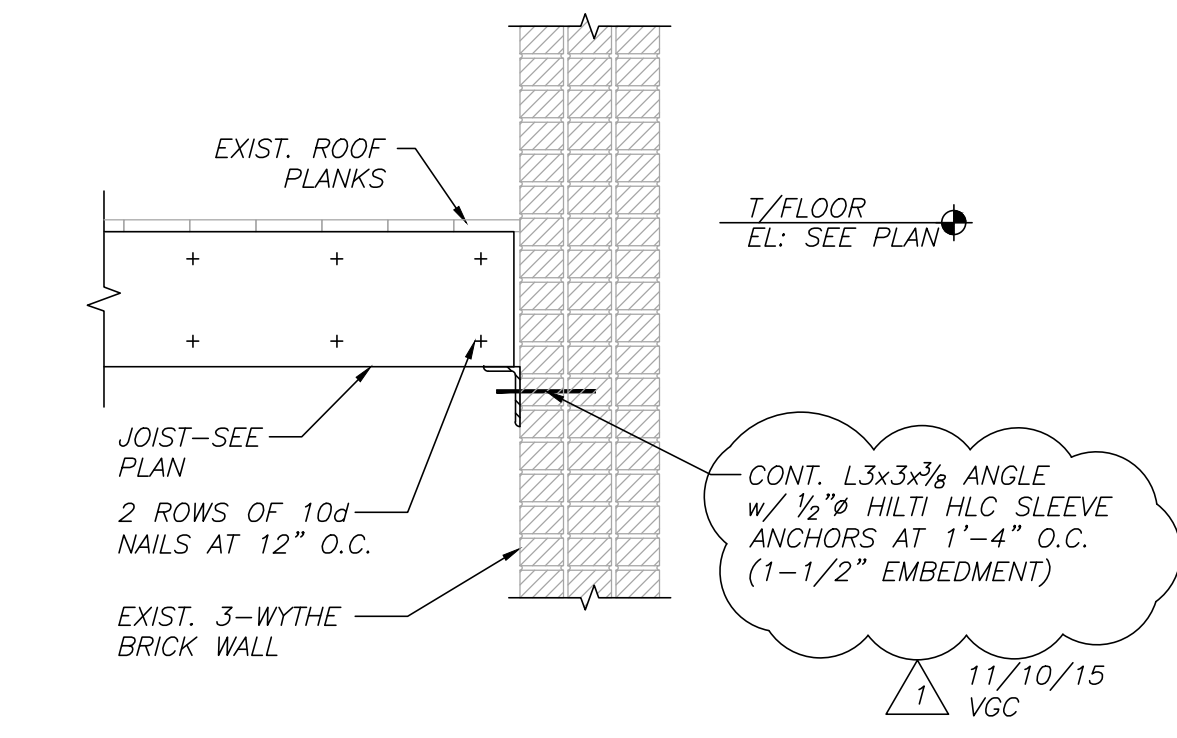
3 TYP. DETAIL AT EXIST. SLAB



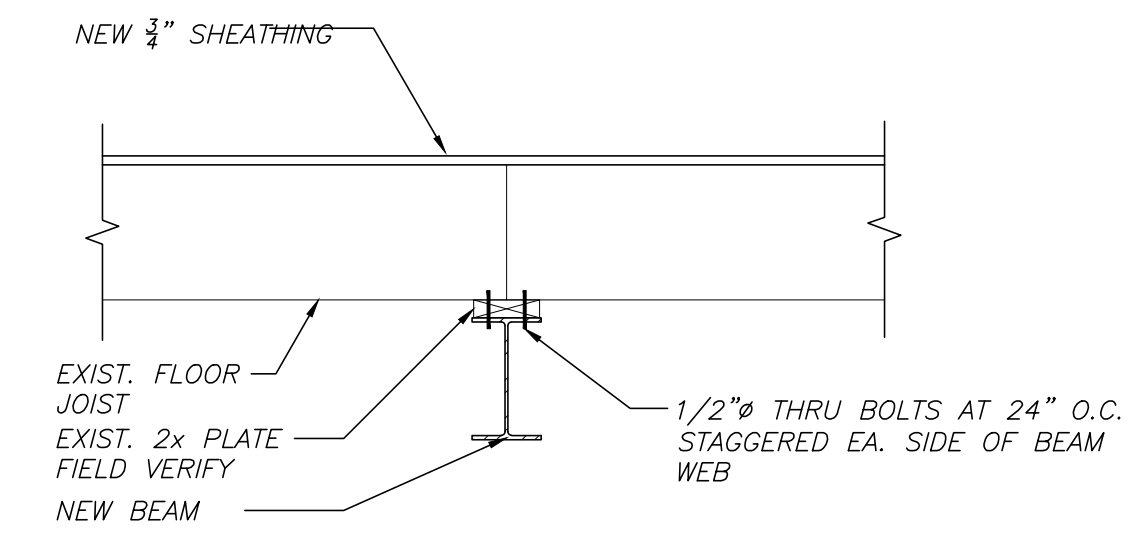
5 NEW BEAM DETAIL



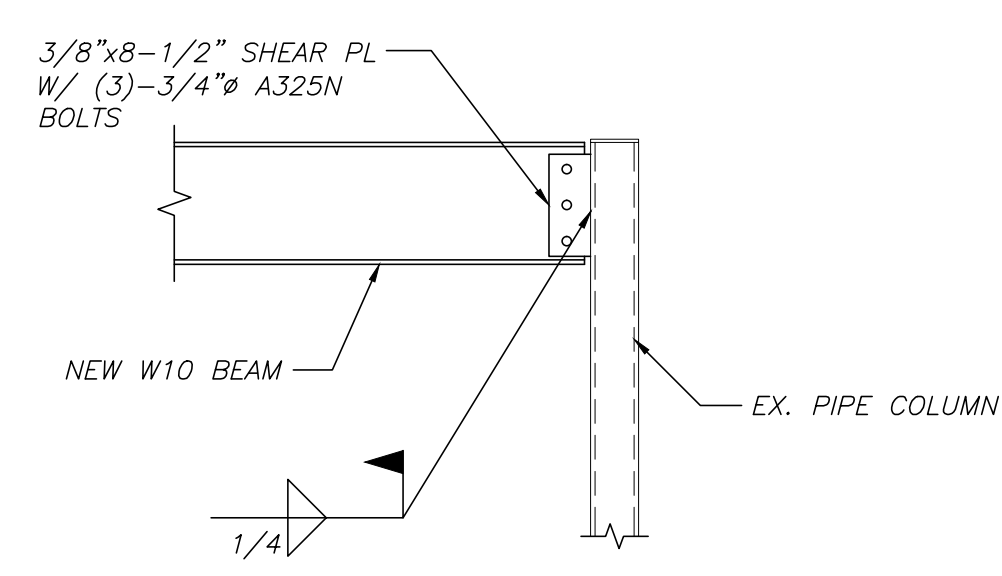
6 STEEL BEARING PLATE DETAIL



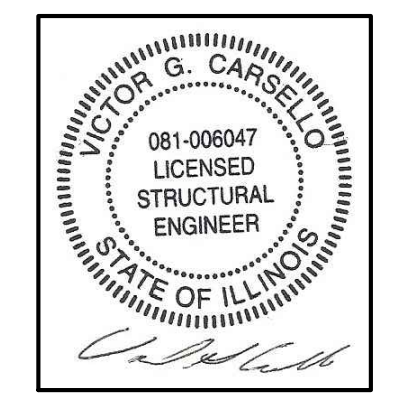
7 TYPICAL JOIST TO EXIST. WALL DETAIL



8 SECTION AT NEW STEEL BEAM



9 NEW BEAM TO EXIST. COLUMN DETAIL



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Framing Details  
**S-200**

VENTILATION SCHEDULE																		
RM. NO.	ROOM NAME	ROOM PURPOSE (PER TABLE 403.3)	FLOOR AREA SQ. FT.	CITY OF CHICAGO ORDINANCE REQUIREMENTS						ACTUALLY PROVIDED						EQUIPMENT		REMARKS
				NAT. VENT NOT LESS THAN	MECHANICAL VENT. SUPPLY CFM/SF	MECHANICAL VENT. EXHAUST CFM/SF	ACTUAL NATURAL LIGHT & VENTILATION LIGHT SQ. FT.	VENT SQ. FT.	SUPPLY CFM	OA CFM	EXHAUST CFM	SUPPLY CFM	OA CFM	EXHAUST CFM	SUPPLY	POWER/ EXHAUST FAN		
0	OPEN BASEMENT	OFFICE	921	4%	0.6	0.3	0.0	0.0	553	184	276	700	184	184	AHU-6	EF-5	-	
	KITCHEN	DINNING ROOM WITH COOKING	350	4%	1.5	2.0	0.0	0.0	525	175	700	525	175	775	AHU-1	EF-2/3	-	
	MECH ROOM	STORAGE	52	4%	0.0	0.0	0.0	0.0	0	0	0	0	0	-	-	-		
	BATHROOM	TOILET ROOM	78	4%	0.0	2.00	0.0	0.0	0	0	156	0	0	160	-	EF-1	1	
	CONFERENCE ROOM	OFFICE	350	4%	0.6	0.30	0.0	0.0	210	70	105	210	71	76	AHU-1	EF-2	-	
	STAIRWAY	STAIRWAY	79	4%	0.0	0.0	0.0	0.0	0	0	0	0	0	-	-	-		
1	EXECUTIVE OFFICE	OFFICE	113	4%	0.6	0.30	0.0	0.0	68	23	34	100	33	100	AHU-2	EF-2	-	
	GRANT WRITER/COPY	OFFICE	344	4%	0.6	0.30	0.0	0.0	206	69	103	325	108	108	AHU-2/3	EF-2	-	
	KITCHENETTE	KITCHEN	215	4%	1.5	1.50	0.0	0.0	323	108	323	330	110	330	AHU-2	EF-2	-	
	CONFERENCE ROOM	OFFICE	211	4%	0.6	0.30	0.0	0.0	127	42	63	175	58	175	AHU-2	EF-2	-	
	BATHROOM	TOILET ROOM	56	4%	0.0	2.0	0.0	0.0	0	0	112	0	0	120	-	EF-4	1	
	MECH ROOM	STORAGE	57	4%	0.0	0.0	0.0	0.0	0	0	0	0	0	-	-	-		
	OFFICE 4 INTAKE	OFFICE	92	4%	0.6	0.0	0.0	0.0	55	18	0	75	15	15	AHU-3	EF-2	-	
	ESL TRAINING	OFFICE	84	4%	0.6	0.0	0.0	0.0	50	17	0	75	25	25	AHU-3	EF-2	-	
	STAIRWAY	STAIRWAY	39	4%	0.0	0.0	0.0	0.0	0	0	0	0	0	-	-	-		
	STAIRWAY	STAIRWAY	66	4%	0.0	0.0	0.0	0.0	0	0	0	0	0	-	-	-		
	OFFICE SHARE SPACE	OFFICE	307	4%	0.6	1.5	0.0	0.0	184	61	461	270	90	90	AHU-3	EF-2	-	
	RECEPTION	WAITING ROOM	222	4%	1.0	0.0	0.0	0.0	222	74	0	250	83	83	AHU-3	EF-2	-	
	ENTRY	ENTRANCE LOBBY	39	4%	0.0	0.0	0.0	0.0	0	0	0	0	0	-	-	-		
	JANITORS CLOSET	JANITORS CLOSET	16	4%	0.0	2.0	0.0	0.0	0	0	32	0	0	35	-	EF-8	-	
2	BEDROOM 2	LIVING QUARTERS	184	4%	0.0	0.0	0.0	0.0	0	0	0	130	0	0	AHU-4	-	-	
	COORDIDOR	COORDIDOR	200	4%	0.0	0.0	0.0	0.0	0	0	0	140	0	0	AHU-4	-	-	
	COORDIDOR	COORDIDOR	198	4%	0.0	0.0	0.0	0.0	0	0	0	140	0	0	AHU-5	-	-	
	BEDROOM 2	LIVING QUARTERS	186	4%	0.0	0.0	0.0	0.0	0	0	0	130	0	0	AHU-5	-	-	
	STORAGE	STORAGE	23	4%	0.0	0.0	0.0	0.0	0	0	0	0	0	-	-	-		
	FURNACE CLOSET	STORAGE	15	4%	0.0	0.0	0.0	0.0	0	0	0	0	0	-	-	-		
	FURNACE CLOSET	STORAGE	15	4%	0.0	0.0	0.0	0.0	0	0	0	0	0	-	-	-		
	STORAGE	STORAGE	23	4%	0.0	0.0	0.0	0.0	0	0	0	0	0	-	-	-		
	KITCHEN	KITCHEN	92	4%	0.0	1.5	0.0	0.0	0	0	138	140	0	140	AHU-4	-	-	
	KITCHEN	KITCHEN	94	4%	0.0	1.5	0.0	0.0	0	0	141	140	0	140	AHU-5	-	-	
	BATHROOM	TOILET ROOM	52	4%	0.0	1.5	0.0	0.0	0	0	78	50	0	80	AHU-4	EF-6	1	
	STAIRWAY	STAIRWAY	44	4%	0.0	0.0	0.0	0.0	0	0	0	0	0	0	-	-	-	
	STAIRWAY	STAIRWAY	44	4%	0.0	0.0	0.0	0.0	0	0	0	0	0	0	-	-	-	
	BATHROOM	TOILET ROOM	53	4%	0.0	1.5	0.0	0.0	0	0	80	50	0	80	AHU-5	EF-7	1	
	STORAGE	STORAGE	18	4%	0.0	0.0	0.0	0.0	0	0	0	0	0	-	-	-		
	BEDROOM 1	LIVING QUARTERS	314	4%	0.0	0.0	0.0	0.0	0	0	0	250	0	0	AHU-4	-	-	
	BEDROOM1	LIVING QUARTERS	315	4%	0.0	0.0	0.0	0.0	0	0	0	250	0	0	AHU-5	-	-	
	TOTAL		19	4%	0.0	0.0	0.0	0.0	0	0	0	0	0	0	-	-	-	

REMARKS

EXHAUST FAN SCHEDULE														
TAG	LOCATION	SERVICE	QTY	CFM	ESP IN	MOTOR DATA					MANUFACTURER AND MODEL	UNIT MODEL WT.	REMARKS	
						RPM	DRIVE	HP	VOLT	PH				HZ
EF-1	CEILING	RESTROOM	1	160	0.4	900	DIRECT	48.2 WATTS	120	1	60	GREENHECK SP-A200	24	1
EF-2	ROOF	MECHANICA ROOM	1	775	0.5	1435	DIRECT	1/4	120	1	60	GREENHECKGB-091	61	6
EF-3	ROOF	KITCHEN	1	375	0.5	1140	BELT	1/4	120	1	60	GREENHECK CUBE 099	58	2
EF-4	CEILING	RESTROOM	1	120	0.5	900	DIRECT	48.2 WATTS	120	1	60	GREENHECK SP-A200	24	1
EF-5	ROOF	MECHANICA ROOM	1	185	0.5	1300	DIRECT	1/12	120	1	60	GREENHECK G-095-G	41	3
EF-6	CEILING	BATHROOM	1	80	0.3	900	DIRECT	32 WATTS	120	1	60	PANASONIC WHISPER GREEN-LITE	14	4
EF-7	CEILING	BATHROOM	1	80	0.3	900	DIRECT	32 WATTS	120	1	60	PANASONIC WHISPER GREEN-LITE	14	4
EF-8	CEILING	JANITORS CLOSET	1	40	0.3	900	DIRECT	29.4 WATTS	120	1	60	GREENHECK SP-A90	12	1
RH-1	UNITS	KITCHEN	2	180	0.25	-	DIRECT	2.5 AMPS	120	1	60	GE JVE40DTWW	19	5

AIR DEVICE SCHEDULE				
ITEM TAG	MANUFACTURER & MODEL NUMBER	DESCRIPTION	FINISH	REMARKS
A	HART AND COOLY / ARED	SURFACE MOUNTED 12X6 SUPPLY GRILLE	WHITE	1.4
B	HART AND COOLY / 650	SURFACE MOUNTED RETURN GRILLE	PAINT TO MATCH SURFACE	2.3

REMARKS

- 4-WAY THROW UNLESS OTHERWISE NOTED
- PROVIDE ADAPTOR BOOTS AS REQUIRED
- COORDINATE FRAME STYPES WITH ARCHITECTURAL PLANS
- OPPOSED BLADE DAMPER

STANDARD CITY OF CHICAGO REFRIGERATION SCHEDULE AIR COOLED													
TAG	QTY	REFRIGERANT TYPE	NO. OF COMP.	NOMINAL TONS	MANUFACTURER	WEIGHT OF REFRIGERANT (LBS)	HP/COMP	LOCATION	REMOTE	SELF CONTAINED	TON/COMP.	REMARKS	
CU-1	1	R410A	1	2.00	GOODMAN	5.5	1.35	ROOF	YES	NO	2.00	1-5	
CU-2	1	R410A	1	2.00	GOODMAN	5.5	1.35	ROOF	YES	NO	2.00	1-5	
CU-3	1	R410A	1	2.00	GOODMAN	5.5	1.35	ROOF	YES	NO	2.00	1-5	
CU-4	1	R410A	1	2.00	GOODMAN	5.5	1.35	ROOF	YES	NO	2.00	1-5	
CU-5	1	R410A	1	2.00	GOODMAN	5.5	1.35	ROOF	YES	NO	2.00	1-5	
CU-6	1	R410A	1	2.00	GOODMAN	5.5	1.35	ROOF	YES	NO	2.00	1-5	

REMARKS

- COPPER TUBING MAY BE TYPE ACR OR TYPE 'K' REFRIGERANT LINES UNLESS PRESSURE EXCEEDS THE RATED CAPACITY OF ACR TUBING [18-28-1107.4.3]
- ALL JOINTS SHALL BE BRAZED
- INSTALL SAFETY RELIEF VALVE ON HIGH SIDE, UPSTREAM OF ANY INTERVENING DEVICES. SET AT 450 PSI
- REFRIGANT PIPING TO BE SIZED PER MANUFACTURER'S RECOMMENDATIONS
- LOCATE ALL REFRIGERATION EXPANSION VALVES, DEVICES AND CONNECTION OUT OF THE AIRSTREAM.

ENERGY STAR OA REQUIREMENT - ASHRAE 62.2-2010				
UNIT	AREA	# OF BEDROOMS	OA REQUIREMENT	OA PROVIDED
UNIT 1	898	2	31.48	32
UNIT 2	903	2	31.53	32

RANGE HOOD			
TAG	CFM	DIMENSION	REMARKS
KH-1	375	30"x24"	GREENHECK / GO

REMARKS

- PROVIDE WITH HEAT SENSOR SET TO 90F WITHIN HOOD THAT WILL TIE INTO EF-3 ON THE ROOF TO TURN ON WHEN HEAT IS TRACED, AND EF-2 IN THE BASEMENT TO TURN OFF WHEN HEAT IS TRACED AND EF-3 IS ON.
- PROVIDE STRUCTURAL SUPPORTS FOR HOOD.
- HOOD TO BE INSTALLED AT MAXIMUM OF 2'-0" ABOVE COOKING SURFACE.

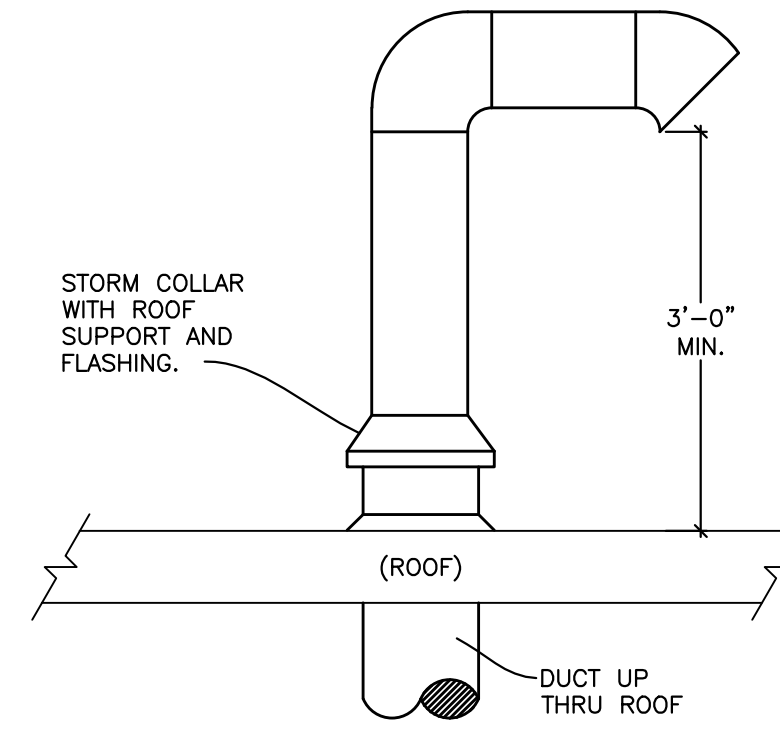
MECHANICAL ABBREVIATIONS			
AC	ABOVE CEILING	EUH	ELECTRIC UNIT HEATER
AFF	ABOVE FINISHED FLOOR	FPB	FAN POWERED BOX
AI	ANALOG INPUT	FPI	FINS PER INCH
AO	ANALOG OUTPUT	FFM	FEET PER MINUTE
BF	BELOW FLOOR	GC	GENERAL CONTRACTOR
BFC	BELOW FINISHED CEILING	GUH	GAS UNIT HEATER
BG	BELOW GRADE	LAT	LEAVING AIR TEMPERATURE
CFPB	CONSTANT VOLUME FAN	MVD	MANUAL VOLUME DAMPER
DB	POWERED BOX	N	NEW
DB	DRY BULB	NTS	NOT TO SCALE
DI	DIGITAL INPUT	ORB	OPPOSED BLADE DAMPER
DO	DIGITAL OUTPUT	RA	RETURN AIR
DS	DISCONNECT SWITCH	SA	SUPPLY AIR
EAT	ENTERING AIR TEMPERATURE	U.N.O.	UNLESS NOTED OTHERWISE
EDH	ELECTRIC DUCT HEATER	VAV	VARIABLE AIR VOLUME
EF	EXHAUST FAN	WH	WATER HEATER
EMS	ENERGY MANAGEMENT SYSTEM		

GAS FIRED AIR HANDLING UNIT													
TAG	MAKE/MODEL	ESP (IN. W.C.)	CFM	HEATING		ELECTRICAL					EVAPORATOR COIL	WEIGHT	REMARKS
				BTU INPUT	BTU OUTPUT	# OF DRIVES	HP	MCA	MOCP	V/PH/Hz			
AHU-1	GOODMAN / GKS90453BXA	0.5	700	46000	42800	1	1/3	9	15	115/1/60	CAPF3636B6	179	1-5
AHU-2	GOODMAN / GKS90453BXA	0.5	800	46000	42800	1	1/3	9	15	115/1/60	CAPF3636B6	179	1-5
AHU-3	GOODMAN / GKS90453BXA	0.5	800	46000	42800	1	1/3	9	15	115/1/60	CAPF3636B6	179	1-5
AHU-4	GOODMAN / GKS90453BXA	0.5	710	46000	42800	1	1/3	9	15	115/1/60	CAPF3636B6	179	1-5
AHU-5	GOODMAN / GKS90453BXA	0.5	710	46000	42800	1	1/3	9	15	115/1/60	CAPF3636B6	179	1-5
AHU-6	GOODMAN / GKS90453BXA	0.5	735	46000	42800	1	1/3	9	15	115/1/60	CAPF3636B6	179	1-5

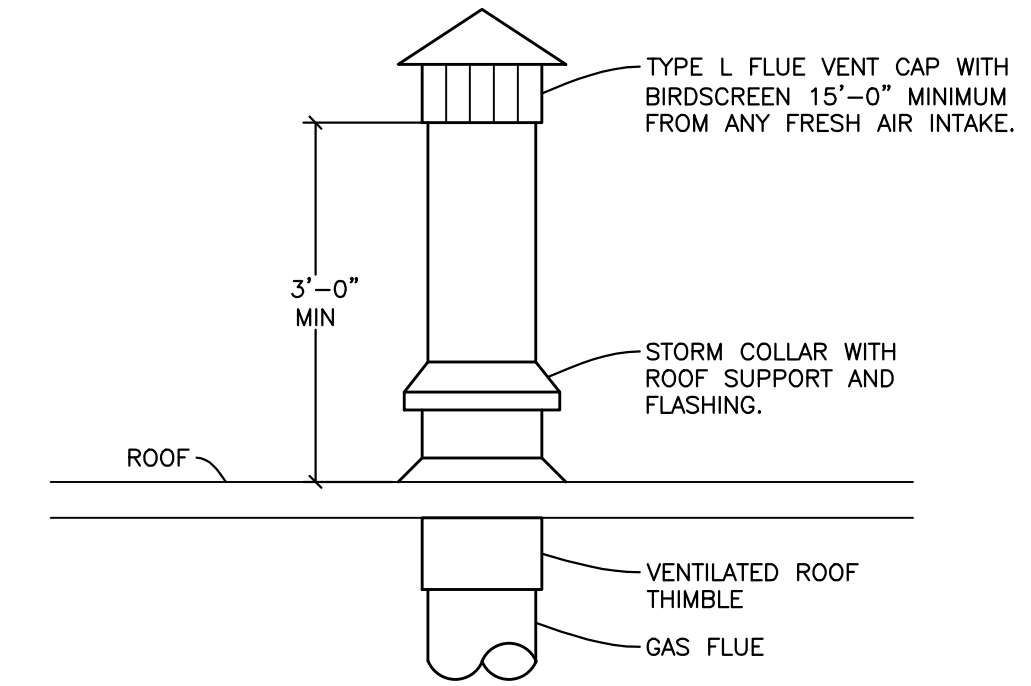
REMARKS

- UNIT TAG AHU-1 TO COUPLE WITH AC UNIT TYPE CU-1. UNIT TAG AHU-2 TO COUPLE WITH AC UNIT TYPE CU-2, ETC.
- UNITS TO HAVE GOODMAN PROGRAMMABLE THERMOSTAT CHT90-120 TO BE PROVIDED BY MANUFACTURER AND INSTALLED BY CONTRACTOR.
- CONTRACTOR TO PROVIDE DRIP PAN AT BASE FOR SECOND, AND THIRD FLOOR UNITS. DRAINAGE TO BE ROUTED TO NEAREST SANITARY LINE.
- UNITS ARE TO HAVE REFRIGERANT R410-A OR OTHER NON-HCFC REFRIGERANT TO BE USED
- UPON TURNOVER, FURNACE TO BE PROVIDED WITH MERVE 8 FURNACE FILTERS

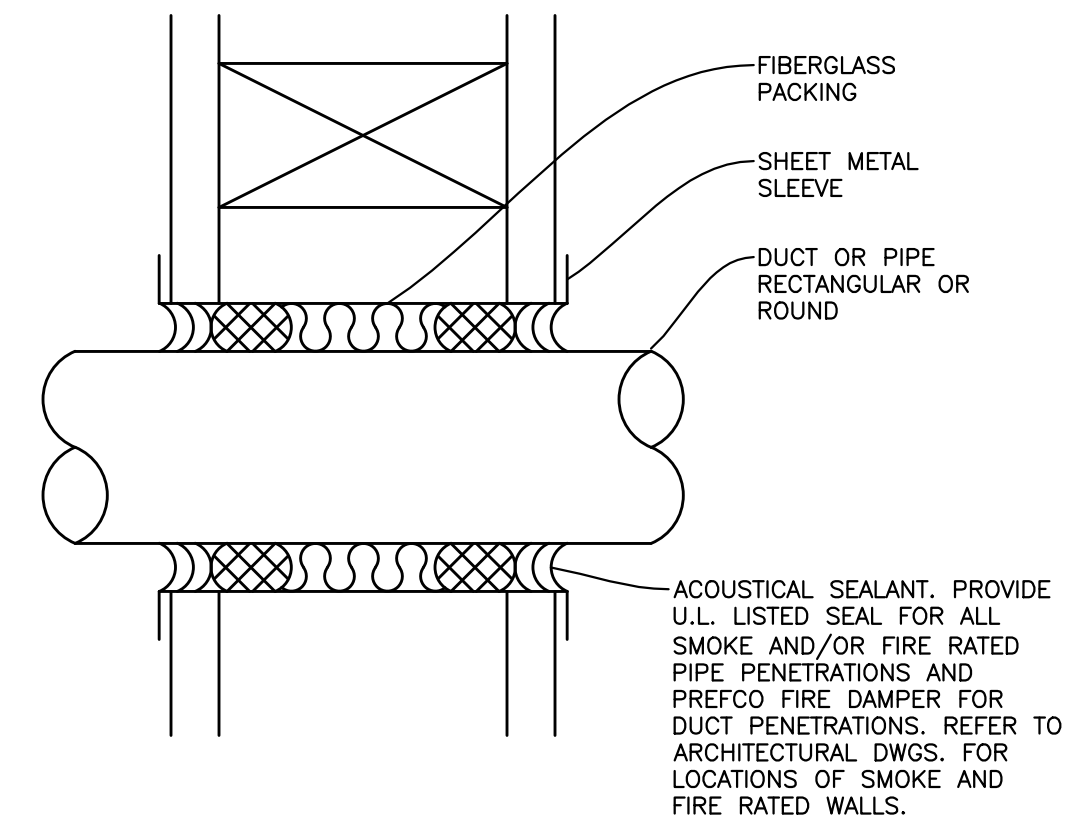
AIR COOLED CONDENSING UNIT SCHEDULE															
TAG	MAKE/MODEL	COOLING (BTU/HR)	REFRIG.	COMPRESSOR			OUTDOOR FAN			MCA	MOCP	ELECTRICAL	SEER	WEIGHT	REMARKS
				RLA	HP	HP/TON	MOTORS	FLA	HP						
CU-1	GOODMAN / SSX140241A	24000	R410A	13	2.7	1.35	1	0.6	1/12	17	30	208/230/1/60	14	183	1, 2, 3
CU-2	GOODMAN / SSX140241A	24000	R410A	13	2.7	1.35	1	0.6	1/12	17	30	208/230/1/60	14	183	1, 2, 3
CU-3	GOODMAN / SSX140241A	24000	R410A	13	2.7	1									



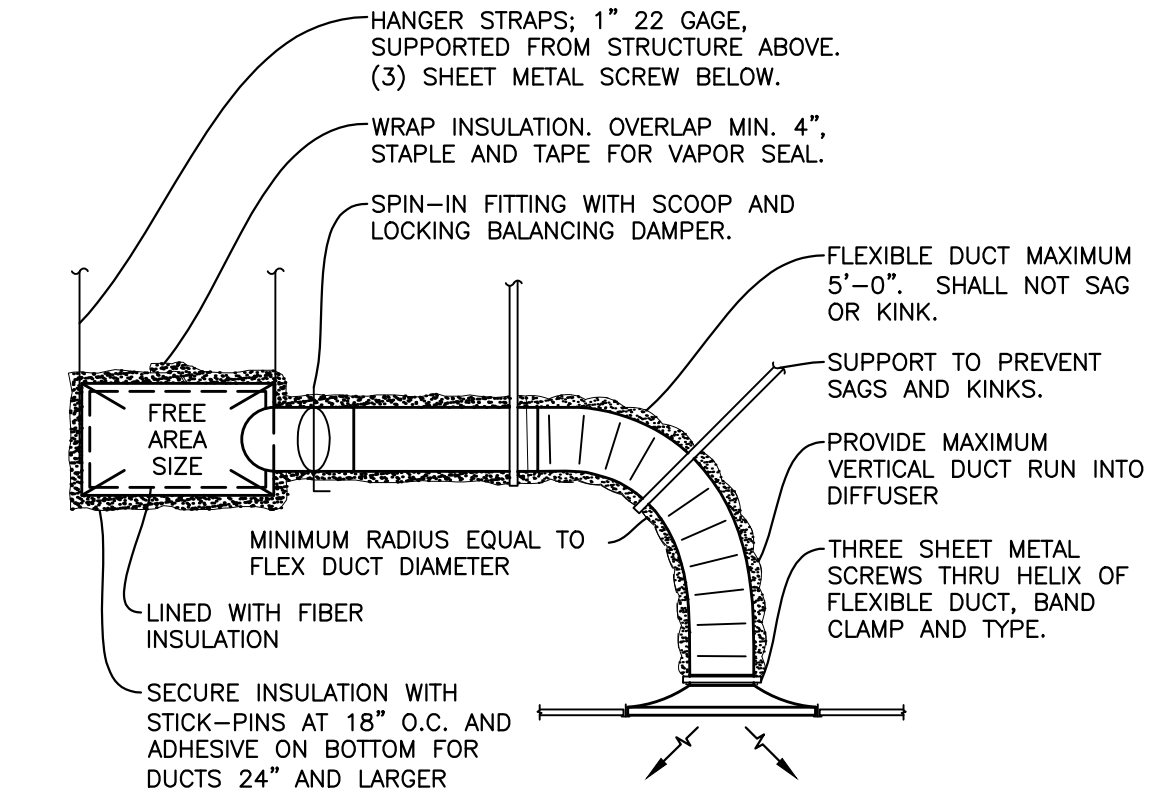
**DETAIL - FURNACE & WATER HEATER VENT PENETRATION THRU ROOF (TYP)**  
SCALE: NONE



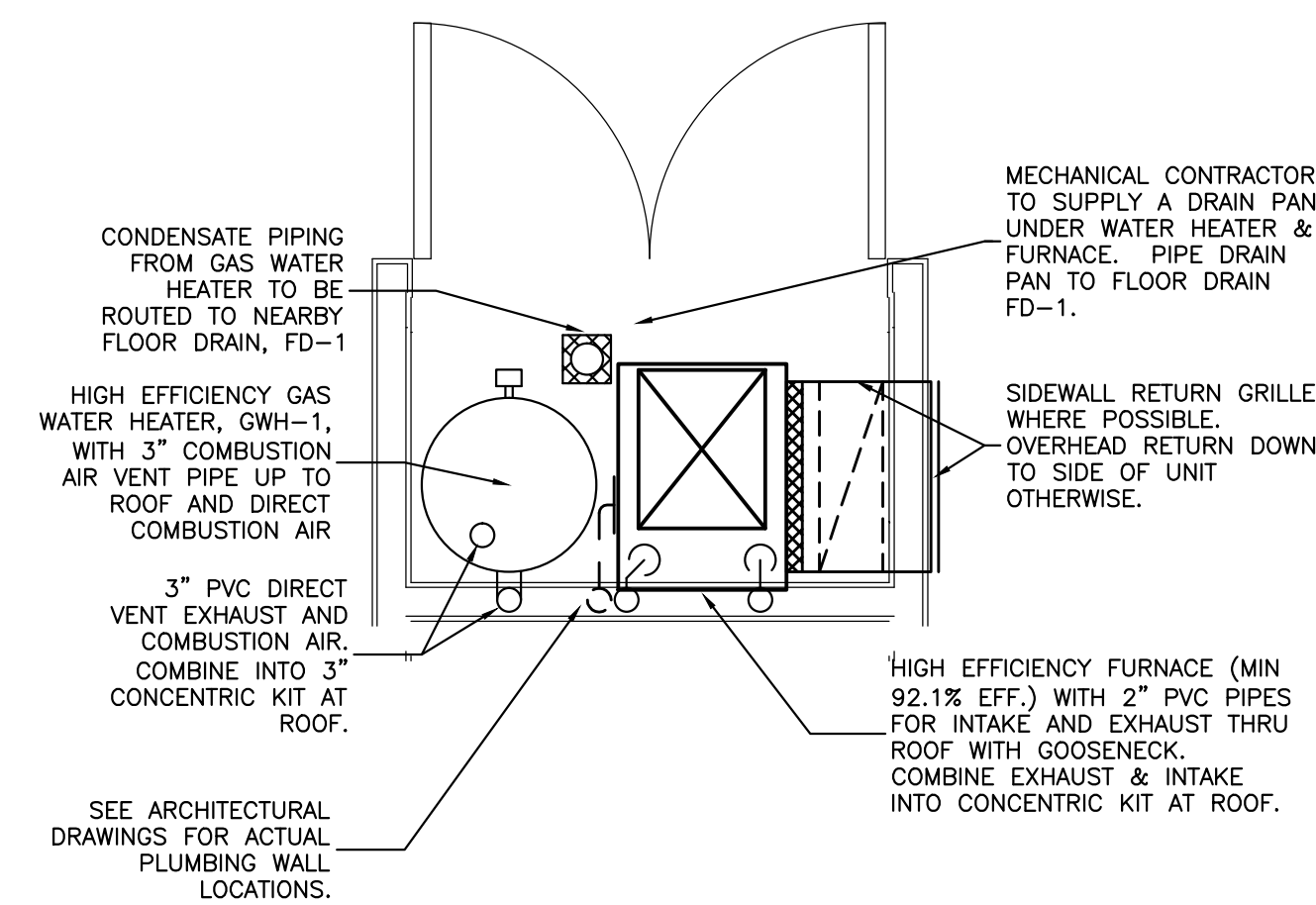
**DETAIL - CONCENTRIC KIT THRU ROOF**  
SCALE: NONE



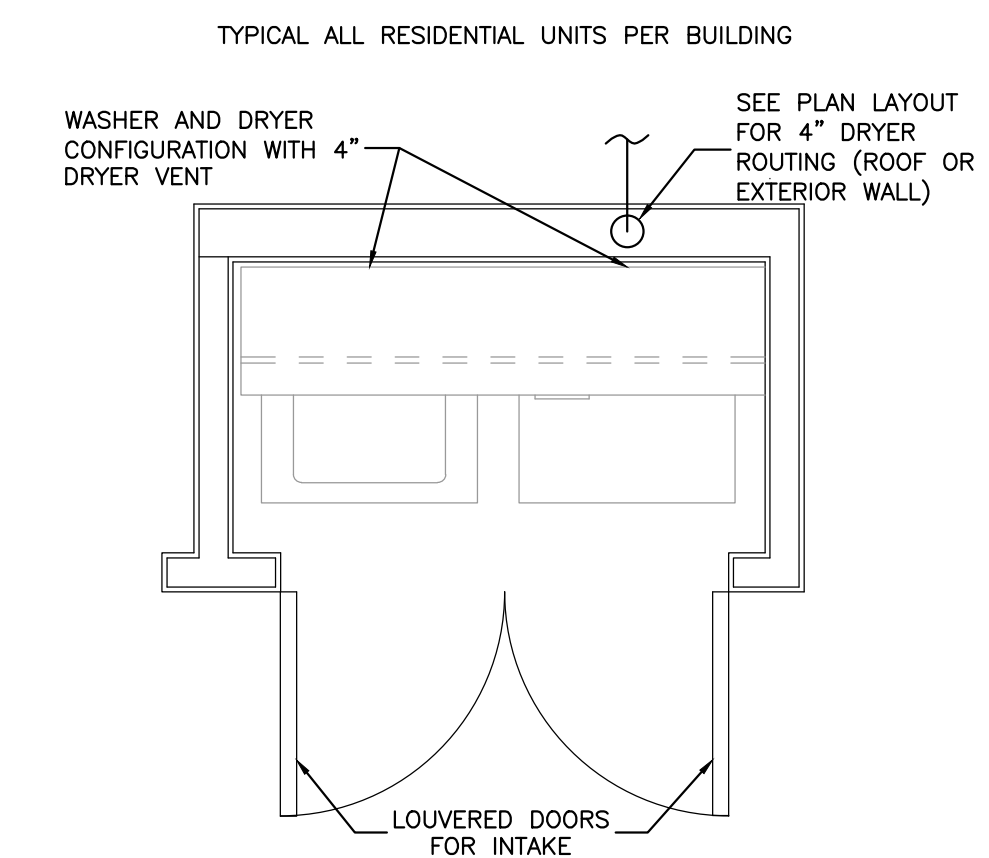
**DETAIL - DUCT OR PIPE THRU INTERIOR WALL SLEEVE**  
SCALE: NONE



**DETAIL - DUCTWORK TAKE-OFF**  
SCALE: NONE



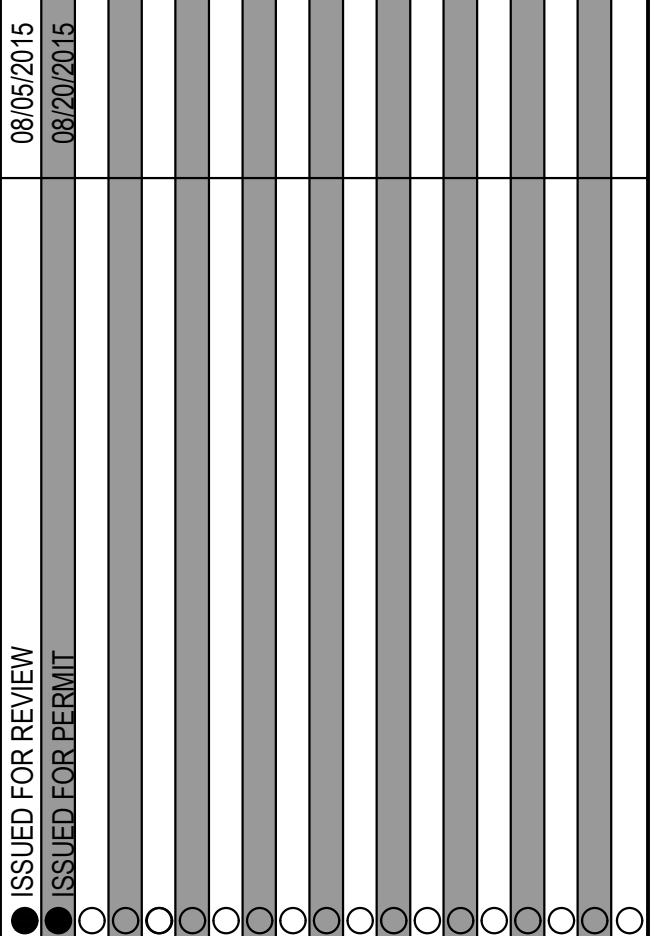
TYPICAL ALL RESIDENTIAL UNITS PER BUILDING



TYPICAL ALL RESIDENTIAL UNITS PER BUILDING



I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED UNDER MY SUPERVISION AND THAT THEY COMPLY TO THE BEST OF MY KNOWLEDGE WITH ALL THE BUILDING CODES AND ORDINANCES OF THE CITY OF CHICAGO, IL.

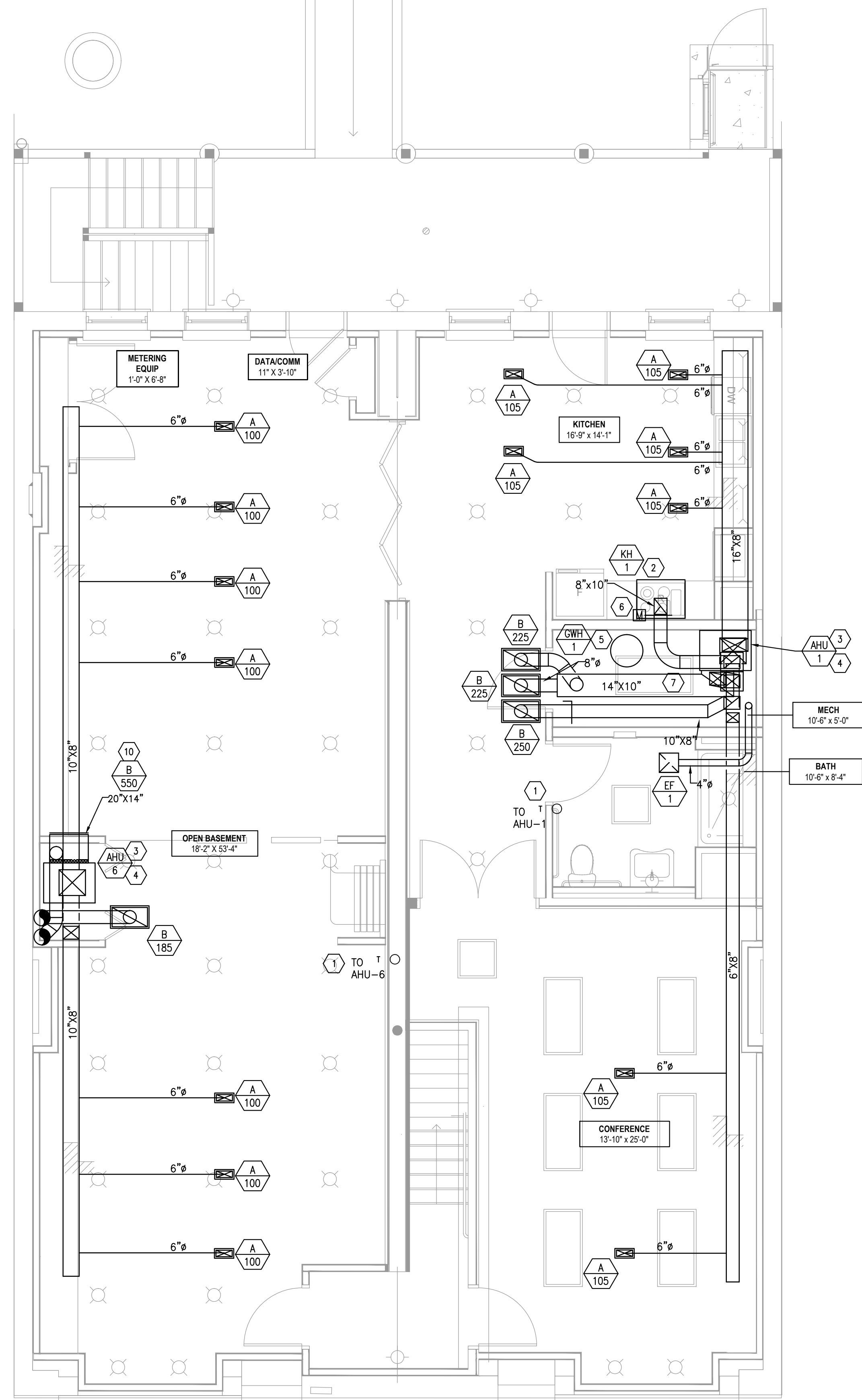


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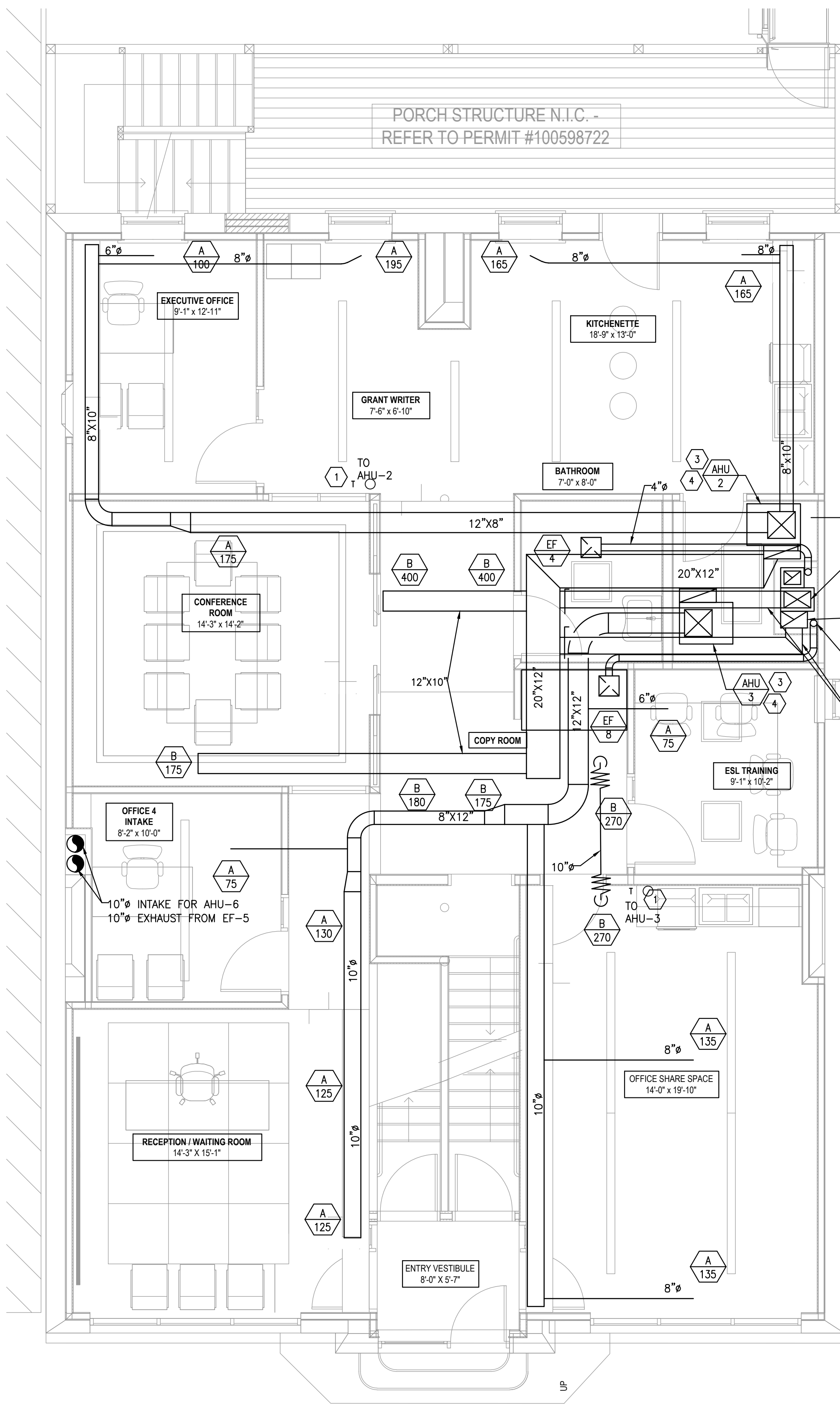
9805 S Ewing  
Chicago, IL 60617

**MECHANICAL DETAILS**

**M-002**



**1 BASEMENT OVERALL PLAN**  
M101 SCALE: 1/4"=1'-0"  
MECHANICAL



**2 1ST FLR OVERALL PLAN**  
M101 SCALE: 1/4"=1'-0"  
MECHANICAL

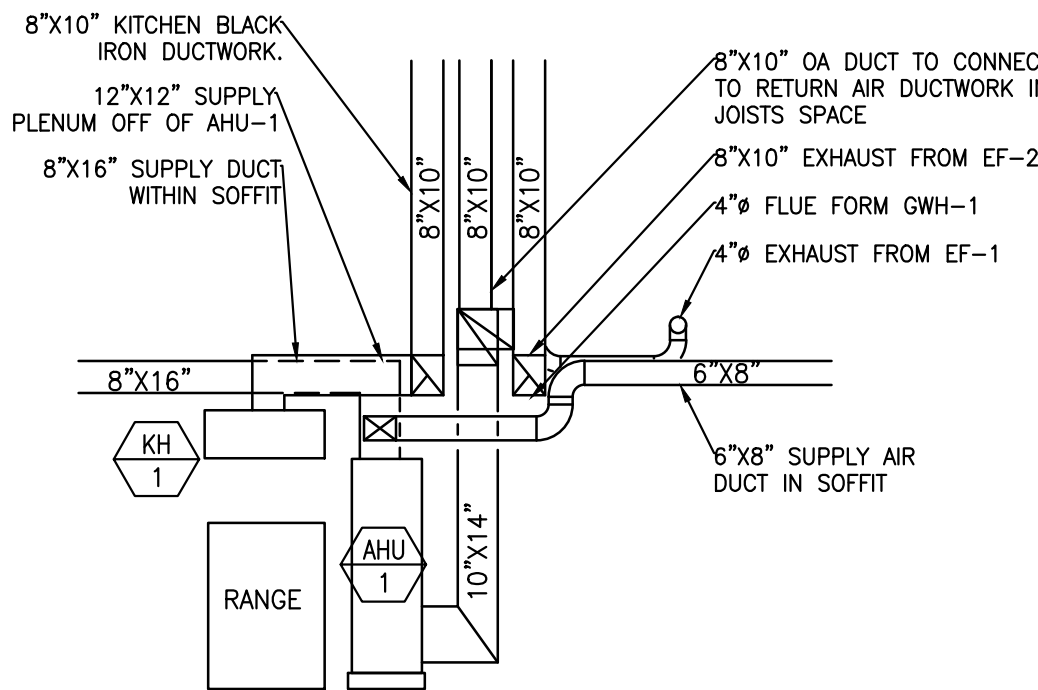
**GENERAL NOTES**

1. ALL FURNACE TO BE DIRECT VENT (92.1% AFUE OR HIGHER ENERGY EFFICIENCY AND ENERGY STAR CERTIFIED).
2. ALL COMBUSTION AIR AND VENT PIPING TO BE SCHEDULE 40 PVC PIPE.
3. ALL THERMOSTATS ARE TO BE ENERGY STAR 7-DAY PROGRAMMABLE SETBACK THERMOSTAT.
4. ALL RANGE HOODS TO BE ENERGY STAR CERTIFIED.
5. DUCTWORK IN ROOF CAVITIES TO BE INSULATED PER SPEC SECTION 15086 CHAPTER 3.02-E.
6. ALL DUCTWORK SHALL BE OF SHEET METAL MATERIAL AND TO BE INSTALLED TO CONFORM TO SMACNA REGULATIONS AND GUIDELINES.
7. HEAT ALL ROOMS/ZONES TO 70°F INSIDE WHEN OUTSIDE TEMPERATURE REACHES -10°F.
8. ALL PIPING AND DUCTWORK PENETRATING THROUGH FIRE RATED CEILING SHALL BE FIRE CAULKED TO MAINTAIN A 1 HOUR OR BETTER FIRE RATING.
9. ALL CONDENSING UNITS ARE FITTED WITH 3/8" REFRIGERANT AND 3/4" SUCTION LINE CONNECTIONS
10. ALL VENTS AND COMBUSTION PIPE PENETRATIONS FOR FURNACE AND GWH, AS WELL AS ANY EQUIPMENT SHALL BE NO CLOSER THAN 4'-0" FROM ANY EXTERIOR WALL

**KEY NOTES**

1. CONTRACTOR TO RECEIVE AND INSTALL HONEYWELL PRO 4000 ENERGY STAR CERTIFIED 7 DAY PROGRAMMABLE WALL MOUNTED THERMOSTATS AND CONTROL WIRING FURNACE AT AN ELEVATION OF 48" ABOVE FINISHED FLOOR ON FIRST FLOOR; 54" FOR THE REMAINING FLOORS.
2. BLACK IRON DUCTWORK FROM KITCHEN RANGE HOOD UP TO EF-3 ON THE ROOF. PROVIDE DACTON TEMPERATURE INTERLOCK SENSOR SS SO THAT WHEN HEAT IS DIRECTED EF-3 TURNS ON AND EF-2 TURNS OFF.
3. CONDENSATE PIPING SHALL BE ROUTED TO NEAREST FLOOR DRAIN AND PROVIDED WITH AIR GAP.
4. AHU-1 AND AHU-6 TO BE INSTALLED WITH 2" VENT, AND 2" PIPE FEEDING 11 CFM OF FRESH AIR FOR COMBUSTION.
5. WATER HEATER GWH-1 TO BE INSTALLED WITH 3" CONCENTRIC KIT FOR EXHAUST AND INTAKE.
6. PROVIDE MOTORIZED DAMPER. REFER TO M301 FOR CONTROL WIRING.
7. SEE 3/M-101 FOR ELEVATION OF MECHANICAL ROOM

16"x10" OUTSIDE AIR DUCT TO TRANSITION AFTER TAKE OFFS FOR AHU-2 AND AHU-3 TO 10"x8" TO SERVE AHU-1 IN BASEMENT  
16"x10" EXHAUST AIR DUCT TO TRANSITION AFTER FIRST FLOOR TAKE OFF TO 10"x8" TO SERVE BASEMENT  
EF-8 4" DUCT TO TIE INTO 4" RISER TO GO UP TO ROOF



**3 FURNACE ROOM ELEVATION**  
M101 SCALE: N.T.S.  
MECHANICAL

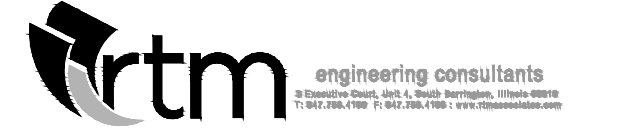
**PERMIT COMMENTS & RESPONSES**

W2422 - AN OUTSIDE AIR INTAKE MUST BE SIZED TO HANDLE 100% OF THE AIR REQUIRED BY TABLE 403.3 AT VELOCITIES OF LESS THAN 1000 FPM. (EXCEPTION: WATER-SIDE ECONOMIZERS - 403.3.3)  
[18-28-401.6]W2424 - AT LEAST 1/3 OF THE AIR REQUIRED IN TABLE 403.3 MUST BE SUPPLIED FROM OUTDOORS. [18-28-403.1 EXCEPT 1]W01251 - OUTSIDE AIR INTAKES AND EXHAUSTS 28 [13-176-090(A)]: SIZE OF AIR INTAKES, EXHAUST DISCHARGES, AND AIR QUANTITIES (C.F.M.)W2440 - ALL COMMERCIAL KITCHEN EQUIPMENT MUST HAVE A TYPE I OR TYPE II HOOD. [18-28-507.2.1]W2441 - ALL COMMERCIAL KITCHEN EQUIPMENT THAT PRODUCES GREASE MUST HAVE A TYPE I HOOD.  
[18-28-507.2.1]W2447 - GREASE DUCTS MUST HAVE A MINIMUM AIR VELOCITY OF 1500 FT/MIN. [18-28-506.3.5]  
RESPONSE:W2422 RESPONSE: AHU-1, 2 AND 3'S REQUIRED OA TOTAL IS 769 CFM WHICH IS DELIVERED TO THESE AHUS THROUGH A 16"X10" WHICH IS A VELOCITY OF 750 FPM, AND THUS WE ARE GOOD. FOR AHU-6 THE REQUIRED OA IS 184 CFM AND IT'S SUPPLIED THROUGH A 10" ROUND DUCT, WHICH IS A VELOCITY OF 340 FPM, WHICH AGAIN WE ARE GOOD. AHU-4, 5 SERVE RESIDENTIAL  
W2424 RESPONSE: PLEASE REFER TO THE CHICAGO CODE VENTILATION SCHEDULE WHICH SHOWS THE SUPPLY AND EXHAUST AIR REQUIRED, AND AN ADDITIONAL COLUMN WHICH SHOWS THE OA REQUIRED IS 1/3 OF THE SUPPLIED AIR. THEN THE ACTUAL COLUMNS SHOW THAT THE OA IS MEET OR EXCEEDED PER THE REQUIREMENT.  
W01251RESPONSE: THERE IS NO GREASE PRODUCING EQUIPMENT BUT RATHER AND OVEN AND RANGE. AND THEREFORE A TYPE II HOOD IS UTILIZED PER CODE FOR HEAT CONTAINMENT.  
W2441 RESPONSE: THERE IS NO GREASE PRODUCING EQUIPMENT BUT RATHER AND OVEN AND RANGE. AND THEREFORE A TYPE II HOOD IS UTILIZED PER CODE FOR HEAT CONTAINMENT.  
W2447 RESPONSE: THE TYPE II HOOD EXHAUSTS 375 CFM, AND UTILIZES A 10"X8" DUCT, WHICH IS A 700 FPM VELOCITY. THIS IS ACCEPTABLE AS THIS IS A TYPE II HOOD, WHICH IS FOR HEAT, NOT GREASE.



I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED UNDER MY SUPERVISION AND THAT THEY COMPLY TO THE BEST OF MY KNOWLEDGE, WITH ALL THE BUILDING CODES AND ORDINANCES OF THE CITY OF CHICAGO, IL

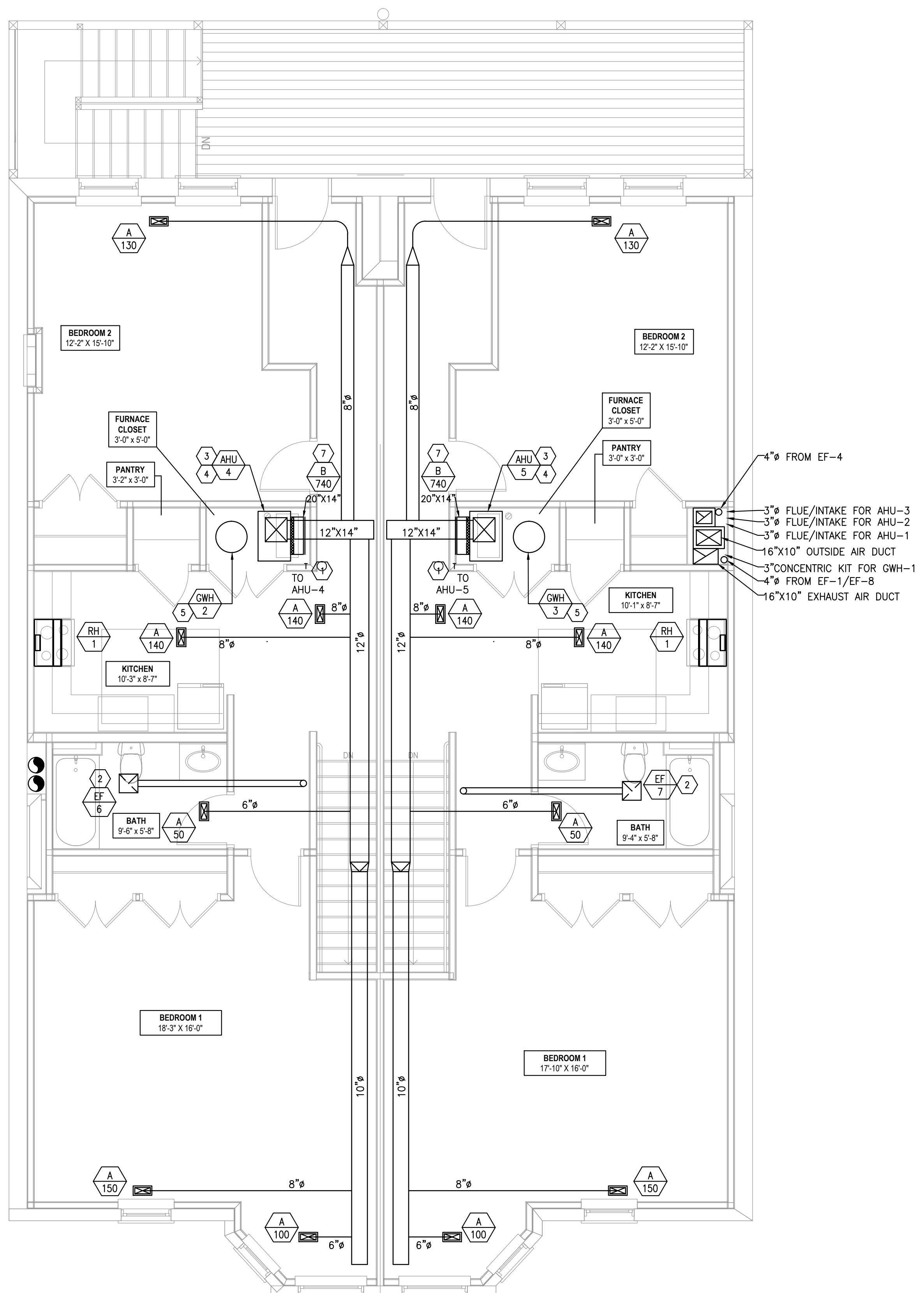
06/05/2015	ISSUED FOR REVIEW
09/20/2015	ISSUED FOR PERMIT
11/13/2015	ISSUED FOR PERMIT REV 1
01/11/2016	ISSUED FOR PERMIT REV 2



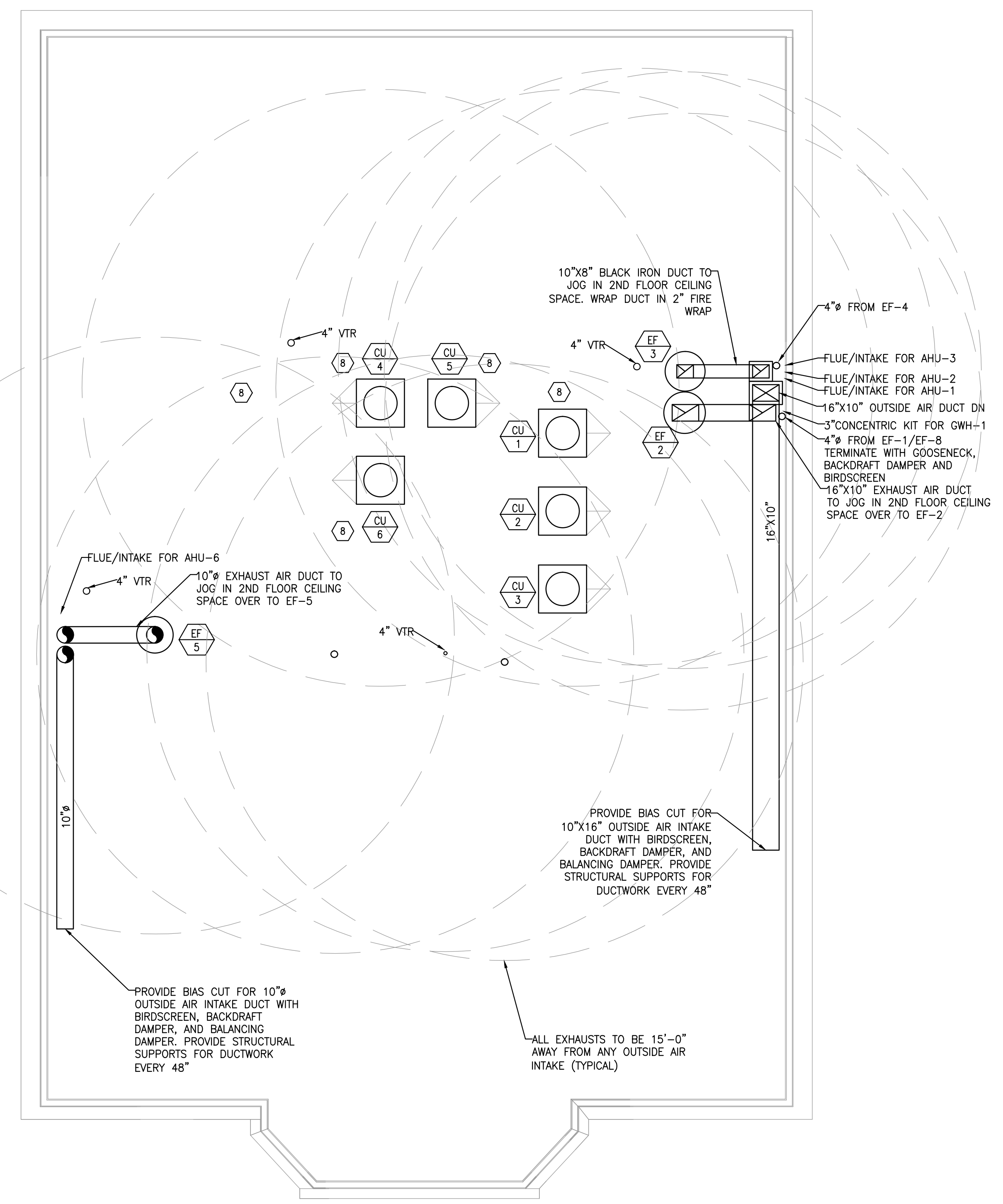
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9805 S Ewing  
Chicago, IL 60617

**BASEMENT AND 1ST FLOOR MECHANICAL PLANS**

**M-101**



1  
M102  
2ND FLR OVERALL PLAN  
SCALE: 1/4"=1'-0"  
MECHANICAL



2  
M102  
2ND FLR OVERALL PLAN  
SCALE: 1/4"=1'-0"  
MECHANICAL

**GENERAL NOTES**

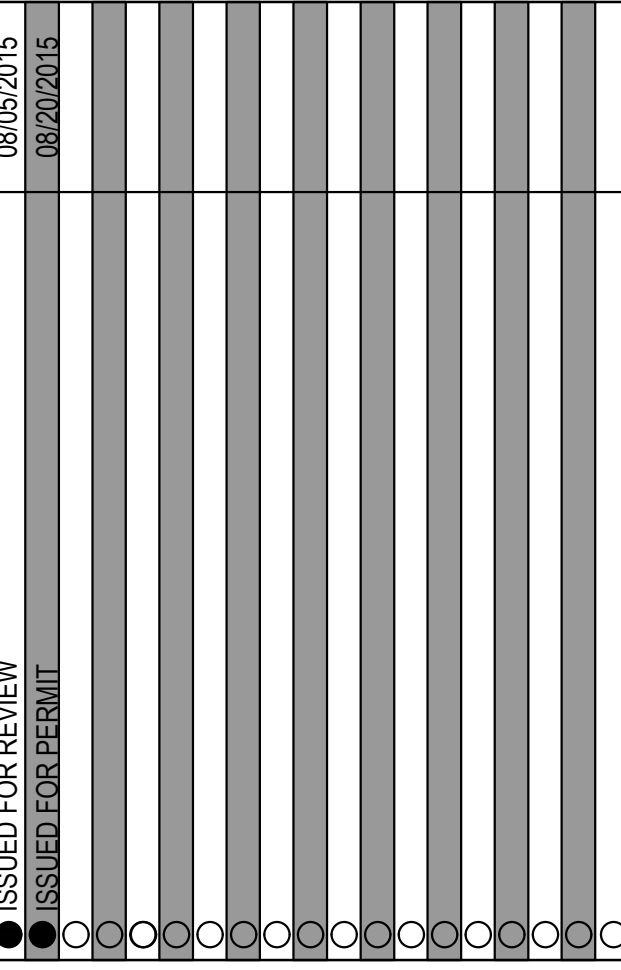
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9. ALL CONDENSING UNITS ARE FITTED WITH 3/8" REFRIGERANT AND 3/4" SUCTION LINE CONNECTIONS
10. ALL VENTS AND COMBUSTION PIPE PENETRATIONS FOR FURNACE AND GWH, AS WELL AS ANY EQUIPMENT SHALL BE NO CLOSER THAN 4'-0" FROM ANY EXTERIOR WALL

**KEY NOTES**

1. CONTRACTOR TO RECEIVE AND INSTALL HONEYWELL PRO 4000 ENERGY STAR CERTIFIED 7 DAY PROGRAMMABLE WALL MOUNTED THERMOSTATS AND CONTROL WIRING FURNACE AT AN ELEVATION OF 48" ABOVE FINISHED FLOOR ON FIRST FLOOR; 54" FOR THE REMAINING FLOORS.
2. FURNISH AND INSTALL 4" EXHAUST DUCTWORK UP THRU ROOF AND TERMINATE WITH GOOSENECK, BIRDSCREEN AND BACKDRAFT DAMPER.
3. CONDENSATE PIPING SHALL BE ROUTED TO NEAREST FLOOR DRAIN AND PROVIDED WITH AIR GAP.
4. AHU-4 AND AHU-5 TO BE INSTALLED WITH 2" VENT, AND 2" PIPE FEEDING 11 CFM OF FRESH AIR FOR COMBUSTION.
5. WATER HEATER GWH-2 TO BE INSTALLED WITH 3" CONCENTRIC KIT FOR EXHAUST AND INTAKE.
6. FURNISH AND INSTALL VENT DUCTWORK FROM EXHAUST FAN UNIT PER TENANT SPACE WITH RIGID-TYPE EXHAUST DUCTWORK.
7. PROVIDE PLENUM FOR RETURN DUCT. TERMINATE WITH RETURN GRILLE.
8. GAS EXHAUST AND COMBUSTION AIR DUCT PENETRATIONS FROM GAS WATER HEATERS AND FURNACE FROM BELOW. CONTRACTOR TO INSTALL GOOSENECK WITH SCREENING TO PREVENT ENTRY BY VERMIN AND BIRDS.



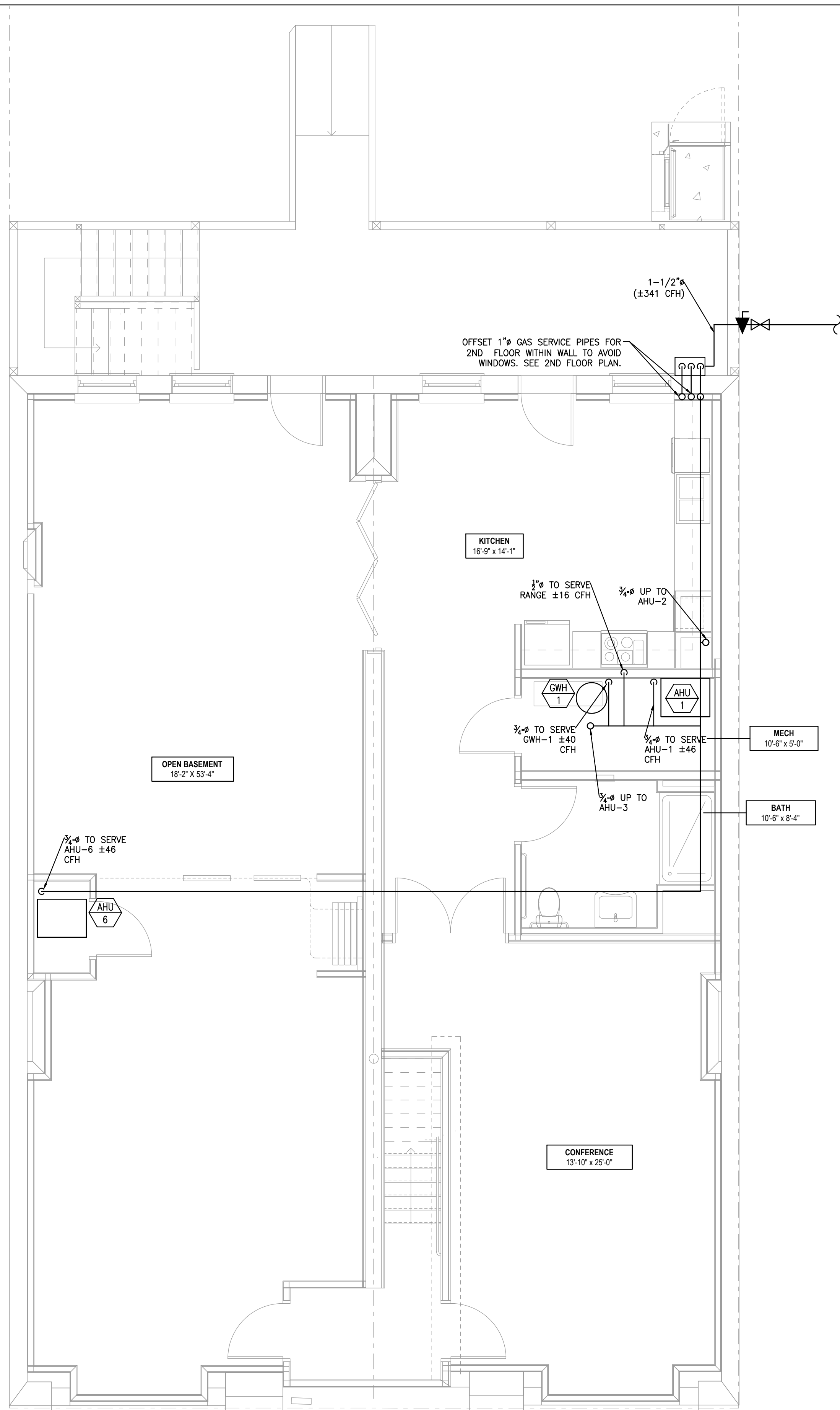
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED UNDER MY SUPERVISION AND THAT THEY COMPLY TO THE BEST OF MY KNOWLEDGE, WITH ALL THE BUILDING CODES AND ORDINANCES OF THE CITY OF CHICAGO, IL.



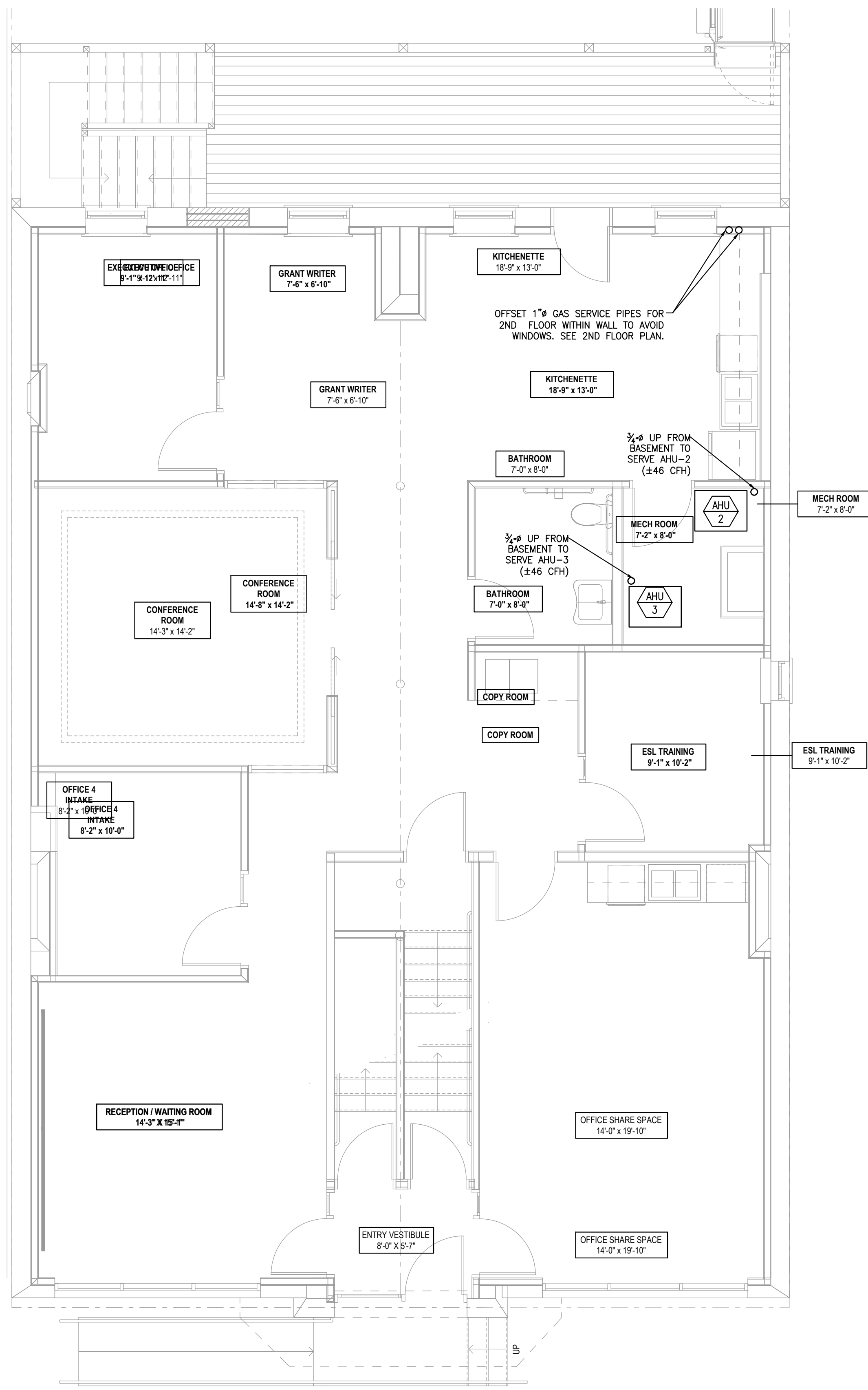
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**2ND FLOOR AND ROOF  
MECHANICAL PLAN**

**M-102**



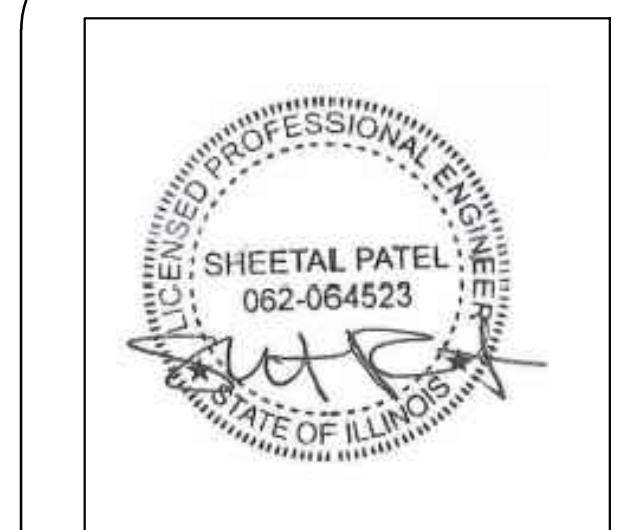
1 BASEMENT OVERALL PLAN  
 M103 SCALE: 1/4"=1'-0"  
 MECHANICAL



2 1ST FLR OVERALL PLAN  
 M103 SCALE: 1/4"=1'-0"  
 MECHANICAL

**GENERAL NOTES**

1. COORDINATE WITH ARCHITECT FOR EXACT GAS METER LOCATIONS.
2. ALL GAS MAINS FROM METER TO THE UNIT SHALL BE 1/4" UNLESS OTHERWISE NOTED.
3. ALL CONNECTIONS TO GAS APPLIANCES ARE TO HAVE A DIRT LEG, SHUT OFF AND FLEX CONNECTION.
4. ALL GAS LINES SHOWN IN DEMISING WALLS TO BE ROUTED IN FURRED OUT SECTION OF THE WALL.
5. GAS PIPE TO BE BLACK IRON ONLY.



I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED UNDER MY SUPERVISION AND THAT THEY COMPLY TO THE BEST OF MY KNOWLEDGE WITH ALL THE BUILDING CODES AND ORDINANCES OF THE CITY OF CHICAGO, IL.

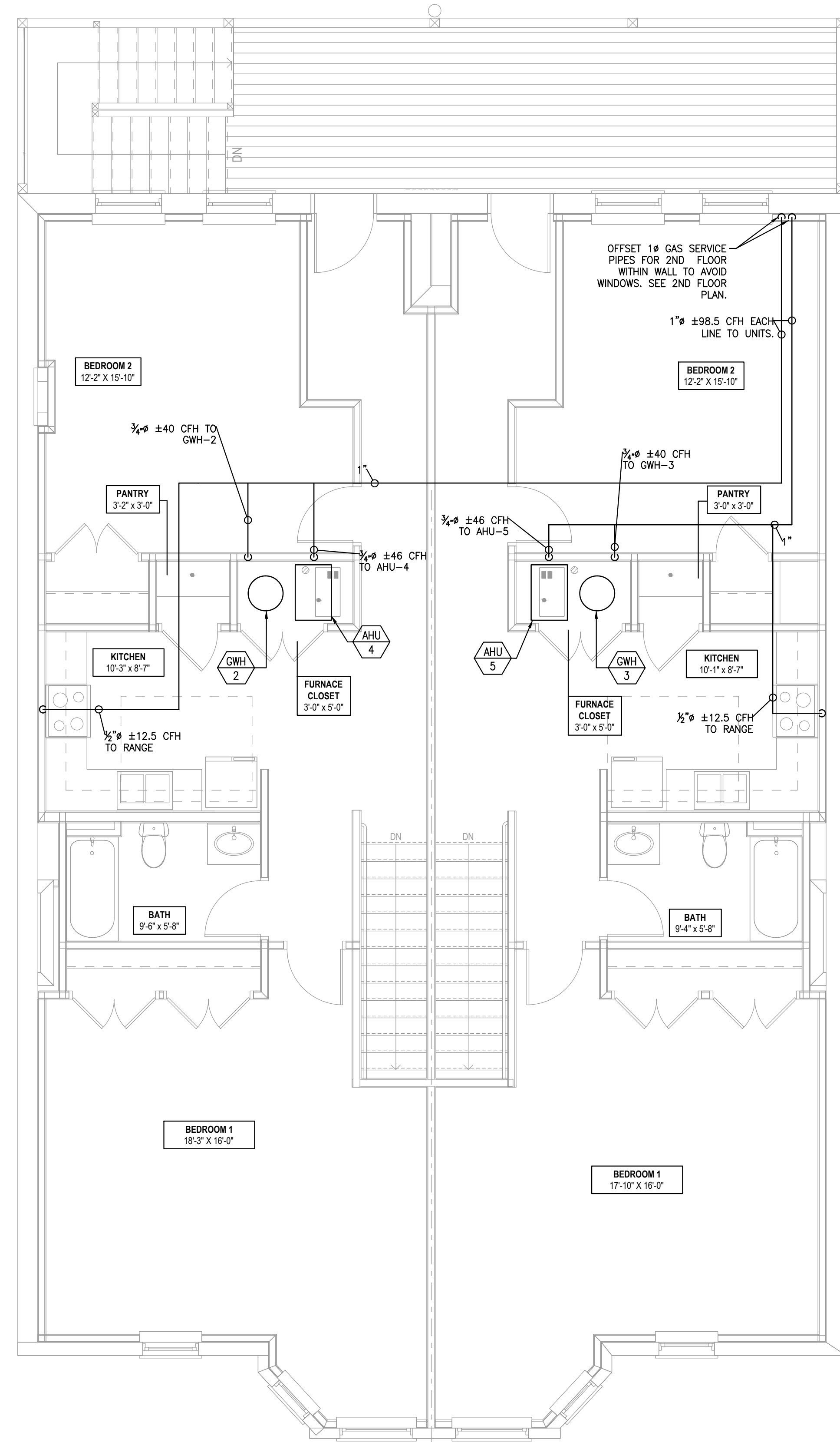
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06/20/2015	ISSUED FOR PERMIT



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**BASEMENT AND 1ST FLOOR MECHANICAL GAS PLANS**

**M-103**



**GENERAL NOTES**

1. COORDINATE WITH ARCHITECT FOR EXACT GAS METER LOCATIONS.
2. ALL GAS MAINS FROM METER TO THE UNIT SHALL BE 1/2" UNLESS OTHERWISE NOTED.
3. ALL CONNECTIONS TO GAS APPLIANCES ARE TO HAVE A DIRT LEG, SHUT OFF AND FLEX CONNECTION.
4. ALL GAS LINES SHOWN IN DEMISING WALLS TO BE ROUTED IN FURRED OUT SECTION OF THE WALL.
5. GAS PIPE TO BE BLACK IRON ONLY.



I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED UNDER MY SUPERVISION AND THAT THEY COMPLY TO THE BEST OF MY KNOWLEDGE WITH ALL THE BUILDING CODES AND ORDINANCES OF THE CITY OF CHICAGO, IL.

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**2ND FLOOR  
 MECHANICAL GAS PLAN**

**M-104**

**2ND FLR OVERALL PLAN**  
 SCALE: 1/4"=1'-0"  
 MECHANICAL



### PLUMBING FIXTURE SCHEDULE

ALL SYMBOL SHOWN MAY NOT APPEAR IN ALL DRAWINGS. SYMBOL ARE SHOWN SCHEMATIC AND MAY NOT BE TO SCALE.

DESCRIPTION	GEN	SYM	DESCRIPTION	SYMBOL
WATER CLOSET (FLOOR MOUNTED)	WC-#		PRESSURE REDUCING VALVE	
WATER CLOSET (WALL MOUNTED)	WC-#		BACKFLOW PREVENTER	
URINAL (WALL MOUNTED)	UR-1		WASHING MACHINE WALL BOX	
LAVATORY (COUNTER TOP)	LAV-#		VENT THRU ROOF	
LAVATORY (WALL MOUNTED)	LAV-#		WATER METER	
BATHTUB	BT-1		GATE VALVE	
KITCHEN SINK	KS-1		CHECK VALVE	
MOP SINK	SS-1		GATE VALVE W/ HOSE BIB	
WATER HEATER (GAS)	GWH-1		UNION	
WATER HEATER (ELECTRIC)	EW-1		DRAIN LINES	
FLOOR CLEANOUT	WCO		SLOPE DIRECTION	
DOUBLE CLEANOUT	DCO		VACUUM BREAKER	
WALL HYDRANT & HOSE BIBB	WH-#		CIRCUIT SETTER	
FLOOR DRAIN (GENERAL SERVICE)	FD-1		WATER HAMMER ARRESSTOR	
FLOOR DRAIN (W/ FUNNEL ASSEMBLY)	FD-2		BALL VALVE	
POTABLE COLD WATER PIPING (CW)			SANITARY (SAN)	
HOT WATER PIPING (HW)			VENT (V)	

### ABBREVIATIONS

AFF	ABOVE FINISH FLOOR	LAV	LAVATORY
BFF	BELOW FINISH FLOOR	MS	MOP SINK BASIN
CO	CLEANOUT	SS	SERVICE SINK
DS	DOWNSPOUT	WH	WALL HYDRANT
EW-1	ELECTRIC WATER HEATER	WC	WATER CLOSET
FP	FIRE PROTECTION	VTR	VENT THRU ROOF
FCO	FLOOR CLEANOUT	BFP	BACKFLOW PREVENTER
FD	FLOOR DRAIN	EWC	ELECTRIC WATER COOLER
GWH	GAS WATER HEATER	UG	UNDERGROUND
WCO	WALL CLEANOUT		

### PLUMBING FIXTURE SCHEDULE

DESIG.	COMPONENT	QUANTITY	MANUF./MODEL	WASTE	VENT	CW	HW	REMARKS
WC-1	WATER CLOSET	2	TOTO/ DRAKE II 1G CST454CUG	2-1/2"	2"	1/2"	-----	FLOOR MOUNTED, 1.0 GPF TANK, BEMIS SEAT
WC-2	WATER CLOSET	2	TOTO/ DRAKE II 1G CST454CUG(R)G	2-1/2"	2"	1/2"	-----	FLOOR MOUNTED, 1.0 GPF TANK ON OPEN SIDE OF TYPE A AND TYPE 504, ADA ACCESSIBLE, BEMIS SEAT
LAV-1	LAVATORY	2	GERBER 12-904 WALL HUNG SINK	1-1/2"	1-1/2"	1/2"	1/2"	MOEN CHATEAU L4625 FAUCET WITH 0.5 GPM AERATOR PILL #516711
LAV-2	LAVATORY	2	CULTURED MARBLE TOP BY OTHERS	1-1/2"	1-1/2"	1/2"	1/2"	MOEN CHATEAU L4625 FAUCET WITH 0.5 GPM AERATOR PILL #516711
KS-1	KITCHEN SINK	5	MOEN/EXCALIBUR 22826	1-1/2"	1-1/2"	1/2"	1/2"	ADA, 2 BOWL, 6.5" DEEP, SINGLE LEVER, MOEN CHATEAU 7425 FAUCET, AERATOR #116711
BT-1	BATHTUB	2	PENDANT/V 2204/2205	3"	2"	3/4"	3/4"	60" X 30" WHITE PORCELAIN FLANGE BY STERLING, SYMMONS ADA 1.5 GPM TUB & SHOWER SYSTEM #BP-56-1.5
FD-1	FLOOR DRAIN	6	SIoux CHIEF	4"	2"	-----	-----	CAST IRON, ADJUSTABLE, CAULK RIM TO ADJACENT FLOOR MATERIAL
HS-1	HAND. SHOWER	3	MOEN/SINGLE FUNCT. HAND SHOWER 3863EP	3"	2"	3/4"	3/4"	ADJ. VERTICAL BAR WITH 59" HOSE
DW-1	DISHWASHER	2	GE GLDA696FSS	5/8" - 1"	-----	-----	1/2"	ENERGY STAR
MB-1	MOP SINK	1	MUSTEE/63M DURASTONE	3"	2"	3/4"	3/4"	FIBERGLASS 24"X24" INTEGRAL MOLDED DRAIN, HANGER, AND WALL GUARD, MUSTEE FAUCET 63.600A WITH VACUUM BREAKER REQUIRED

### GREEN PLUMBING REQUIREMENT NOTES

- CONTRACTOR TO VERIFY THAT GAS WATER HEATER IS OF DIRECT VENT SEALED COMBUSTION TYPE WITH A 40 GALLON MINIMUM STORAGE CAPACITY AND A 0.62 OR GREATER ENERGY FACTOR.
- CONTRACTOR TO INSULATE ALL COLD AND HOT WATER LINES WITH STANDARD FLEXIBLE PIPE R-3 INSULATION IN CONDITIONED SPACE AND MIN. R-6 IN UNCONDITIONED SPACE - OR BETTER.
- CONTRACTOR TO INSTALL SHUT OFF VALVES FOR EACH UNIT'S COLD WATER SUPPLY.
- DISHWASHERS AND CLOTHES WASHERS ARE TO BE ENERGY STAR LABELED. CONTRACTOR TO SUBMIT FOR APPROVAL PRIOR TO INSTALLATION. WATER HEATER TO BE LOCATED WITHIN 20 FEET OF EACH APPLIANCE.
- TOILET TO HAVE MAX. 1.2 GALLONS PER FLUSH (GPF) AND URINAL TO HAVE MAX. 0.5 GPF. BATHROOM FAUCETS TO HAVE MAX. FLOW RATE OF 0.5 GALLONS PER MINUTE (GPM), KITCHEN FAUCETS TO BE FITTED WITH AERATOR RESTRICTING FLOW TO MAX. 1.5 GPM; SHOWERHEADS TO HAVE MAX. FLOW RATE OF 1.5 GPM.
- AT TYPE 504 AND TYPE A ACCESSIBLE UNITS CONTRACTOR SHALL OFFSET VALVES AND PROVIDE A FIXED AND AN ADJUSTABLE HANDHELD SHOWER HEAD W/ MIN. 59" HOSE (HS-1). SEE ARCHITECTURAL DRAWINGS.

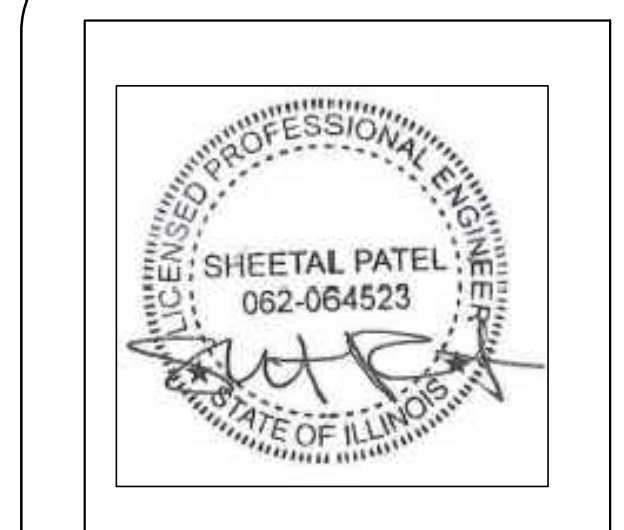
1 SVP 11/13/15

### LIST OF PLUMBING DRAWINGS

P001	PLUMBING SCHEDULES, SYMBOLS & GENERAL NOTES
P101	BASEMENT PLUMBING PLANS
P102	FIRST FLOOR PLUMBING PLANS
P102	SECOND FLOOR PLUMBING PLANS
P103	ROOF PLUMBING PLANS
P201	SANITARY AND VENT PLUMBING RISERS
P202	DOMESTIC WATER PLUMBING RISERS

### GENERAL NOTES

- CONTRACTOR IS RESPONSIBLE FOR ALL VALVES AND PIPING ACCESSORIES DESCRIBED IN THE SPECIFICATIONS.
- CONTRACTOR SHALL PROVIDE AND INSTALL ALL PLUMBING FIXTURES AND EQUIPMENT AS NOTED. REFER TO SPECIFICATION FOR APPROVED FIXTURES. CONTRACTOR SHALL RECEIVE, STORE, AND INSTALL LOCAL FURNISHED FIXTURES.
- ALL WORK WILL BE DONE ACCORDING TO LOCAL CHICAGO BUILDING CODES.
- THE CONTRACTOR SHALL KEEP THE SITE AND AREAS UNDER CONSTRUCTION IN AN ORDERLY CONDITION AT ALL TIMES AND FREE OF ANY ACCUMULATION OF RUBBISH, DEBRIS, AND WASTE. CARE SHOULD BE TAKEN WHEN WORKING AROUND FINISHED SURFACES AND INSTALLATIONS. ALL EFFORTS SHALL BE MADE TO ENSURE CONSTRUCTION ACTIVITIES DO NOT EXPOSE AIR CONDITIONING SYSTEMS OR OCCUPIED SPACES TO ANY CONSTRUCTION DUST, DEBRIS, AND/OR CHEMICAL ODORS. CONTRACTOR SHALL SEAL ALL PLENUMS, TRANSFER GRILLES, AND OPENINGS AROUND WORK AREAS TO ACHIEVE THIS. IF THE CONTRACTOR FAILS TO CONTAIN CONSTRUCTION DUST, THE CONTRACTOR WILL BE RESPONSIBLE FOR ROUTINE CLEAN-UP OF MERCHANDISE AND FIXTURES. CONTRACTOR WOULD ALSO BE RESPONSIBLE FOR ROUTINE FILTER CHANGES DURING CONSTRUCTION.
- WORK SCHEDULE WILL BE COORDINATED WITH OWNER AND FACILITY REPRESENTATIVES PRIOR TO COMMENCEMENT.
- THE CONTRACTOR SHALL INSULATE PIPES IN ALL REMOVABLE AND OPEN SINK COUNTERS.
- ALL CLEANOUTS TO BE WALL CLEANOUTS AND ARE TO HAVE CHROME COVER PLATES WHERE A CLENOUT IS VISIBLE.
- ALL PLUMBING TO BE ROUTED TIGHT TO WALLS AND BACK OF CABINETS.
- TOILETS ARE TO BE INSTALLED 18" FROM THE NEARBY WALL ON CENTERLINE FOR ALL ACCESSIBLE TYPE RESIDENTIAL, COMMERCIAL AND OFFICE UNITS, UNLESS NOTED OTHERWISE ON DRAWINGS.
- DISHWASHERS IN ACCESSIBLE UNITS AND AT OFFICE KITCHENS TO FIT UNDER 34" COUNTERTOP.
- REFER TO CIVIL TO IDENTIFY WHICH DOWNSPOUTS CONNECT TO THE UNDERGROUND, WHICH SPLASH TO GRADE AND WHICH TIE TO RAIN BARRELS.
- CONTRACTOR TO INSTALL SHUT OFF VALVE IN EACH UNIT AT COLD WATER ENTRY TO UTILITY CLOSET OR FIRST POINT OF ACCESS PER UNIT.
- PVC IS ONLY ALLOWABLE IN RESIDENTIAL UNITS. NO PVC TO BE USED IN BASEMENT OR FIRST FLOOR FIXTURES.



I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED UNDER MY SUPERVISION AND THAT THEY COMPLY TO THE BEST OF MY KNOWLEDGE WITH ALL THE BUILDING CODES AND ORDINANCES OF THE CITY OF CHICAGO, IL.

### WATER HEATER SCHEDULE

TAG	LOCATION	#	GAL OF STORAGE	RECOV CAP AT 90F RISE	GAS INPUT IN BTUH	INTAKE/FLUE SIZE	AMPS	V/Ø/HZ	MANUFACTURER/MODEL	SET POINT	ENERGY FACTOR	1ST HOUR RATING	REMARKS
GWH-1	1ST/2ND FLOOR	1	40	43	40,000	3"Ø(POWER)	3.1	110/1/60	BRADFORD WHITE M-4-TW40T6FBN	135°F	0.67	72	1,2,3,4
GWH-2	RESIDENTIAL UNITS	1	40	43	40,000	3"Ø(POWER)	3.1	110/1/60	BRADFORD WHITE M-4-TW40T6FBN	135°F	0.67	72	1,2,3,4
GWH-3	RESIDENTIAL UNITS	1	40	43	40,000	3"Ø(POWER)	3.1	110/1/60	BRADFORD WHITE M-4-TW40T6FBN	135°F	0.67	72	1,2,3,4

NOTES:  
 1. PROVIDE 4" LEG KIT TO MEET NSF REQUIREMENTS, STANDARD CONTROLS TO INCLUDE ADJUSTABLE T-STAT, ELECTRONIC IGNITION, EMERGENCY GAS CUT-OFF & PRESSURE REGULATOR, FACTORY MANIFOLD FOR DUAL HEATERS PROVIDE WITH VERTICAL CONCENTRIC VENT.  
 2. 110 V.A.C., 60 Hz, 3.1 AMPERES REQUIRED FOR POWER VENTING COMPONENT  
 3. CONTRACTOR TO VERIFY UNITS AND QUANTITY REQUIRED PER UNIT TYPE.  
 4. UNITS TO HAVE DRIP PAN THAT IS TO BE DRAINED TO NEAREST SANITARY CONNECTION.

### PIPE MATERIALS

CONDITION/LOCATION	MATERIAL TYPE
ABOVE GROUND WATER	TYPE "L" COPPER
BELOW GROUND WATER	TYPE "K" COPPER
WASTE (ABOVE GROUND)	SCHED. 40 PVC PLASTIC
WASTE (UNDER GROUND)	CAST IRON
VENT (ABOVE GROUND)	SCHED. 40 PVC PLASTIC
VENT (UNDER GROUND)	CAST IRON
GAS PIPING	SCH. 40 WROUGHT IRON
CONDENSATE PIPING	SCHED. 40 PVC PLASTIC

### GREASE INTERCEPTOR SCHEDULE

TAG	MANUFACTURER/MODEL	LIQUID CAPACITY (GAL)	GREASE CAPACITY (LBS)	TAPPED INLET & OUTLET	SHIPPING WEIGHT (LBS)	NUMBER OF COVERS
GS-1	ROCKFORD SEPARATOR / G-23-LO	10	50	2"Ø	130	1
GS-2	ROCKFORD SEPARATOR / G-23-LO	10	50	2"Ø	130	1
GS-3	ROCKFORD SEPARATOR / G-23-LO	10	50	2"Ø	130	1

NOTES:  
 1. CONTRACTOR TO VERIFY EXACT UNDERGROUND ELEVATION OF INTERCEPTOR AND INSTALL APPROPRIATE RISER FOR ACCESS AT GROUND LEVEL.  
 2. VERIFY ACTUAL REQUIRED SIZE OF GREASE INTERCEPTOR WITH LOCAL AUTHORITY HAVING JURISDICTION OVER HEALTH AND PLUMBING CODES INCLUDING CITY AMENDMENTS TO CODE. GREASE TRAP MUST MEET OR EXCEED LOCAL MINIMUM GREASE TRAP SIZING REQUIREMENTS.

### GREASE INTERCEPTOR CALCULATION SCHEDULE

TAG	FIXTURE	HOLDING CAPACITY (GAL) OR GAL PER HR.	QUANTITY	INDIVIDUAL TOTALS	GREASE TOTAL	REQUIRED SEPARATOR HOLDING CAPACITY	ACTUAL GREASE SEPARATOR HOLDING CAPACITY
GS-1	KS-1	12.6	1	12.6	16.1	8.1	10
	DW-1	3.5	1	3.5			
GS-2	KS-1	12.6	1	12.6	12.6	6.3	10
GS-3	KS-1	12.6	1	12.6	12.6	6.3	10

NOTES:  
 1. VERIFY ACTUAL REQUIRED SIZE OF GREASE INTERCEPTOR WITH LOCAL AUTHORITY HAVING JURISDICTION OVER HEALTH AND PLUMBING CODES INCLUDING CITY AMENDMENTS TO CODE. GREASE TRAP MUST MEET OR EXCEED LOCAL MINIMUM GREASE TRAP SIZING REQUIREMENTS.

1 SVP 11/13/15

### SUPPLY AND SANITARY DRAINAGE FIXTURE UNIT SCHEDULE

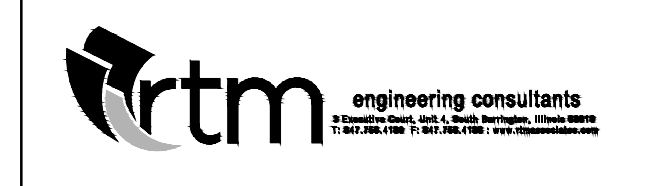
FIXTURE	QTY	WSFU		DFU	
		FIXTURE	TOTAL	FIXTURE	TOTAL
LAVATORY (LAV-2)	2	2	4	2	4
WATER CLOSET (WC-2)	2	10	20	8	16
MOP BASIN (MB-1)	1	3	3	2	2
BATHROOM GROUP	2	4	8	7	14
WASHER BOX (WB-1)	2	3	6	3	6
FLOOR DRAIN (FD-1/FD-2)	6	0	0	2	12
KITCHEN SINK (KS-1)	5	2	10	2	10
DISHWASHER (DW-1)	3	1	3	2	6
SHOWER (SH-1)	1	2	2	3	3
		TOTAL	54	TOTAL	70

### SERVICE REQUIREMENTS

SERVICE	SIZE MAIN	CAPACITY	
DOMESTIC WATER	1-1/2 INCH	32	GPM
SANITARY	4 INCH	70	FU

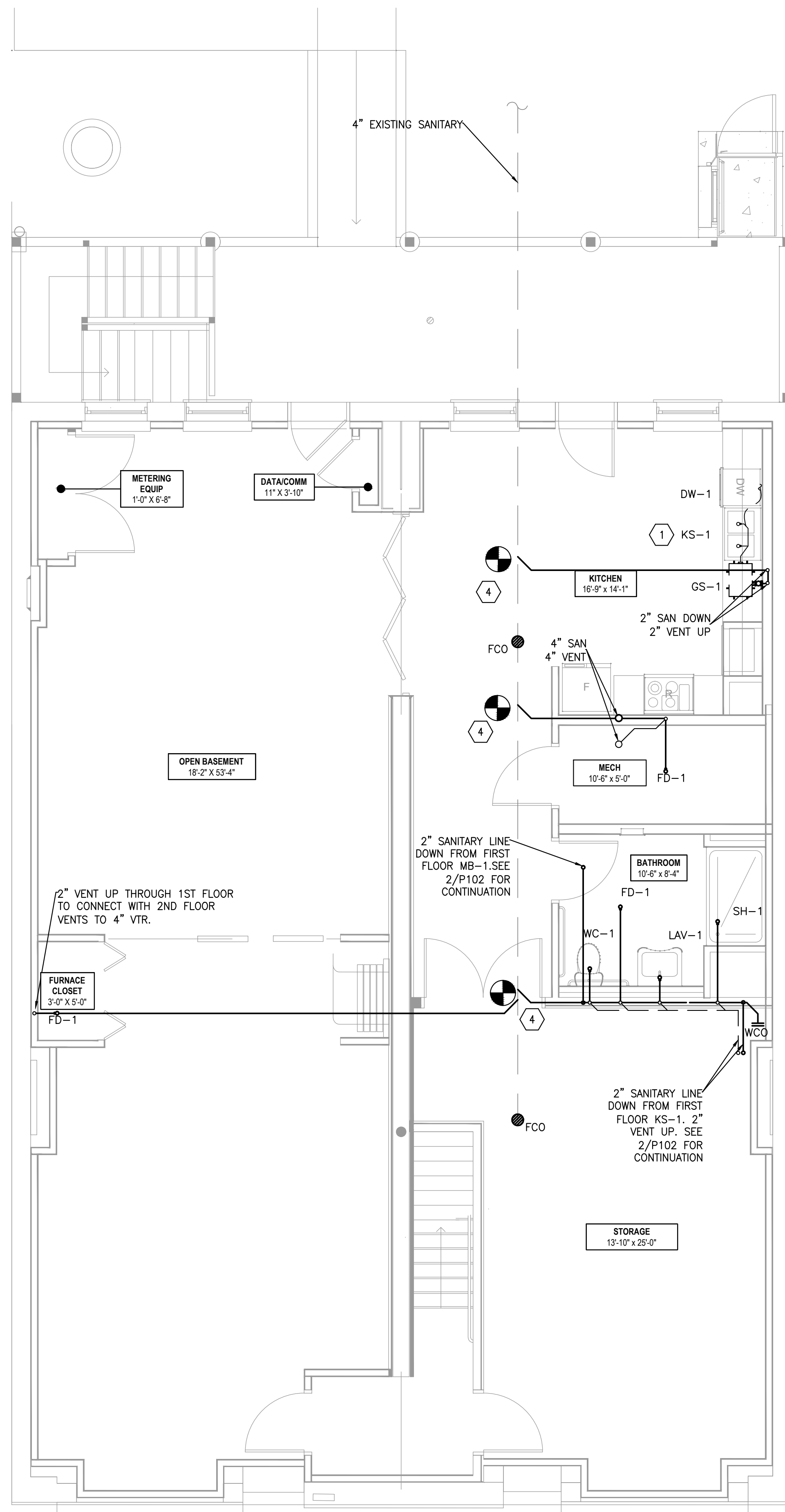
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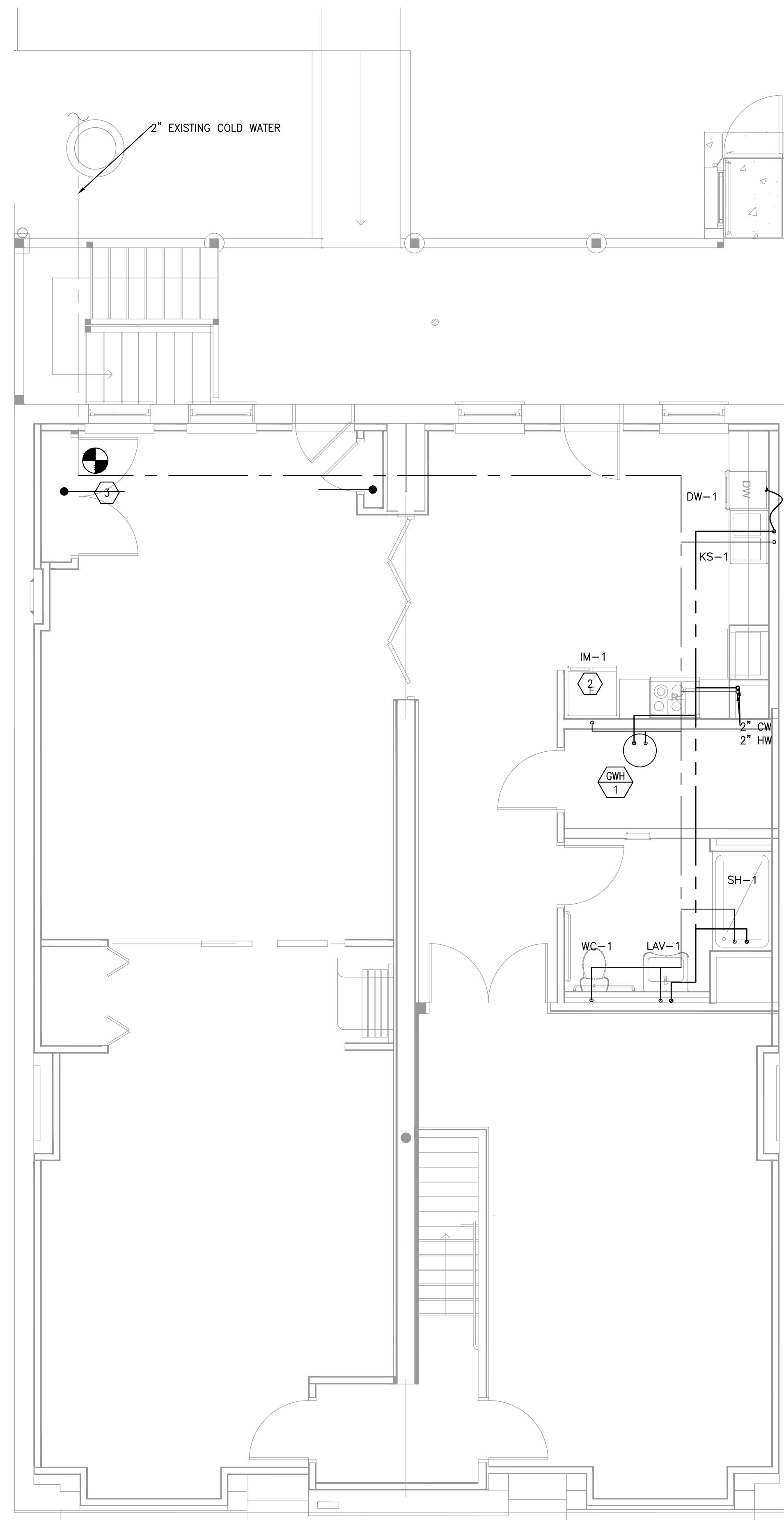
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 Chicago, IL 60617

**PLUMBING SCHEDULES**

**P001**



**1**  
P101 **BASEMENT OVERALL PLAN**  
SCALE: 1/4"=1'-0"  
SANITARY AND VENT



**2**  
P101 **BASEMENT OVERALL PLAN**  
SCALE: 1/4"=1'-0"  
DOMESTIC WATER

**GENERAL NOTES**

1. ALL CLOTHES WASHERS ARE PROVIDED IN ALL RESIDENTIAL UNITS AND ARE TO BE ENERGY STAR RATED.
2. TOILETS TO BE OFFSET FROM WALLS 1'-6" IN ALL 1ST FLOOR UNITS. SEE ARCHITECTURAL.
3. AT TYPE '504' AND 'A' ACCESSIBLE UNITS, CONTRACTOR SHALL OFFSET BATH AND SHOWER VALVES AND PROVIDE A FIXED AND AN ADJUSTABLE HANDHELD SHOWER HEAD W/ MIN. 59" HOSE (HS-1). SEE ARCHITECTURAL DRAWINGS.
4. WC-1 SHOULD BE LOCATED IN ALL RESIDENTIAL UNITS EXCEPT THOSE DESIGNATED AS ACCESSIBLE TYPE '504', 'A', 'B', 'VISITABLE' AND 'FHAK'. THOSE ACCESSIBLE UNITS MUST BE WC-2. LAV-1 TO BE USED ON ALL RESIDENTIAL UNITS EXCEPT ACCESSIBLE TYPE '504'. ACCESSIBLE TYPE '504' MUST HAVE LAV-2.
5. REFER TO P100 FOR OVERALL FLOOR PLAN.
6. INSTALL ESCUTCHEON PLATES AT ALL CABINET PENETRATIONS.
7. INSTALL FLUSH CHROME CLEANOUT COVERS AT ALL WCO'S.
8. INSTALL STACK VENTS ON ALL SANITARY AND REASE WASTE RISERS/STACKS IN 3RD FLOOR CEILING AND CONNECT TO NEAREST MAIN VENT LINE LEADING TO 4" VTR.

**KEY NOTES**

1. CONTRACTOR TO ROUTE DISCHARGE OF KITCHEN SINK TO GREASE SEPARATOR BELOW IT. VENT TO BE OFF OF GREASE SEPARATOR. SANITARY LINE TO BE TRAPPED PRIOR TO CONNECTION TO GREASE SEPARATOR.
2. PROVIDE 1/2" COLD WATER LINE WITH BFP TO ICE MAKER WITHIN REFRIGERATOR.
3. PROVIDE NEW 2" WATER CONNECTION TO EXISTING WATER LINE. PROVIDE SHUT OFF VALVE AND DIELECTRIC UNION.
4. PROVIDE NEW 4" SANITARY CONNECTION TO EXISTING 4" SANITARY MAIN.

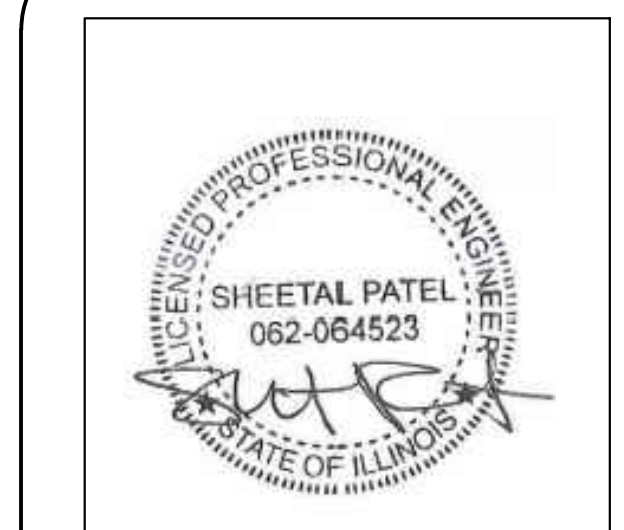
**PERMIT COMMENTS & RESPONSES**

PLS2312 BUILDING IS SIZED FOR A NEW 1 1/2" WATER SERVICE WITH A 25 GPM BOOSTER PUMP. NOTE CORRECTION ON P101.

RESPONSE: PER FIXTURE UNIT SCHEDULE ADDED TO P-001 32 GPM IS NEEDED FOR BUILDING WHICH IS AT 8 FEET PER SECOND A 1-1/2" LINE, HOWEVER AN EXISTING 2" SERVICE IS TO THE BUILDING THAT WILL BE UTILIZED. CURRENTLY THERE IS NO BOOSTER PUMP AT BUILDING WITH TANK TYPE TOILETS ON SECOND FLOOR THAT ARE BEING REMOVED. PER THE CALCULATION TO SERVE A TANK TYPE TOILET ON THE SECOND FLOOR WHICH MEANS WE NEED 20 PSI AT THE SECOND FLOOR, AND THE LIFT UP TO THE SECOND FLOOR TAKES 11 PSI FROM THE METER, MEANING WE NEED AN INCOMING PRESSURE OF 31 PSI TO WORK. CITY OF CHICAGO GIVES 34-37 PSI AT METER. THEREFORE NO BOOSTER PUMP IS NECESSARY.

PL11282 PROVIDE ISOMETRIC PIPING DIAGRAMS SHOWING ALL WATER RISERS WATER BRANCH PIPING AND WASTE STACKS AND WASTE BRANCH PIPING ,INCLUDE ALL SIZING.

RESPONSE: ISOMETRICS HAVE BEEN COMPLETED AND ARE SHOWN ON SHEETS P201 AND P202



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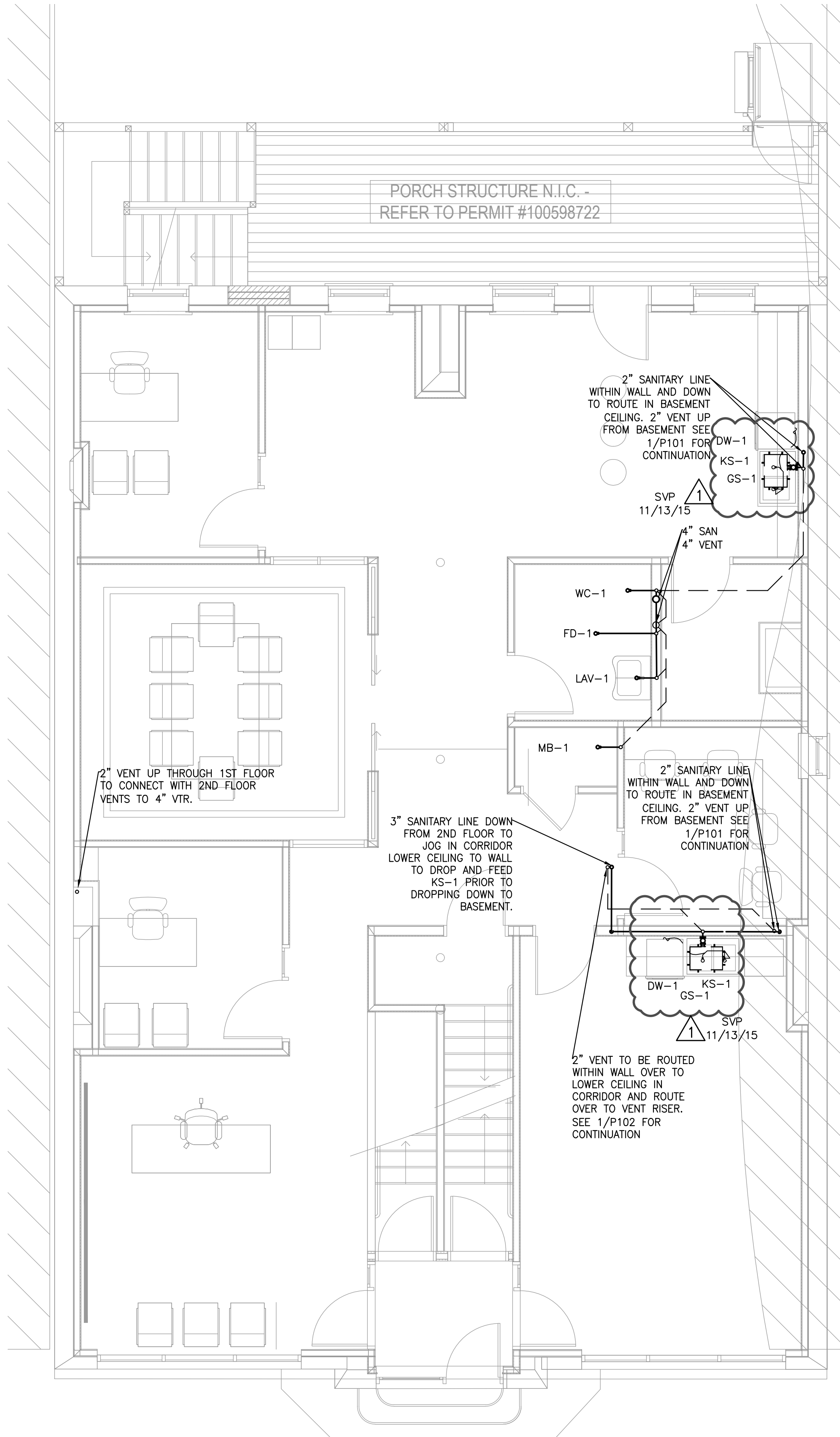
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11/13/2015	ISSUED FOR PERMIT REV 1
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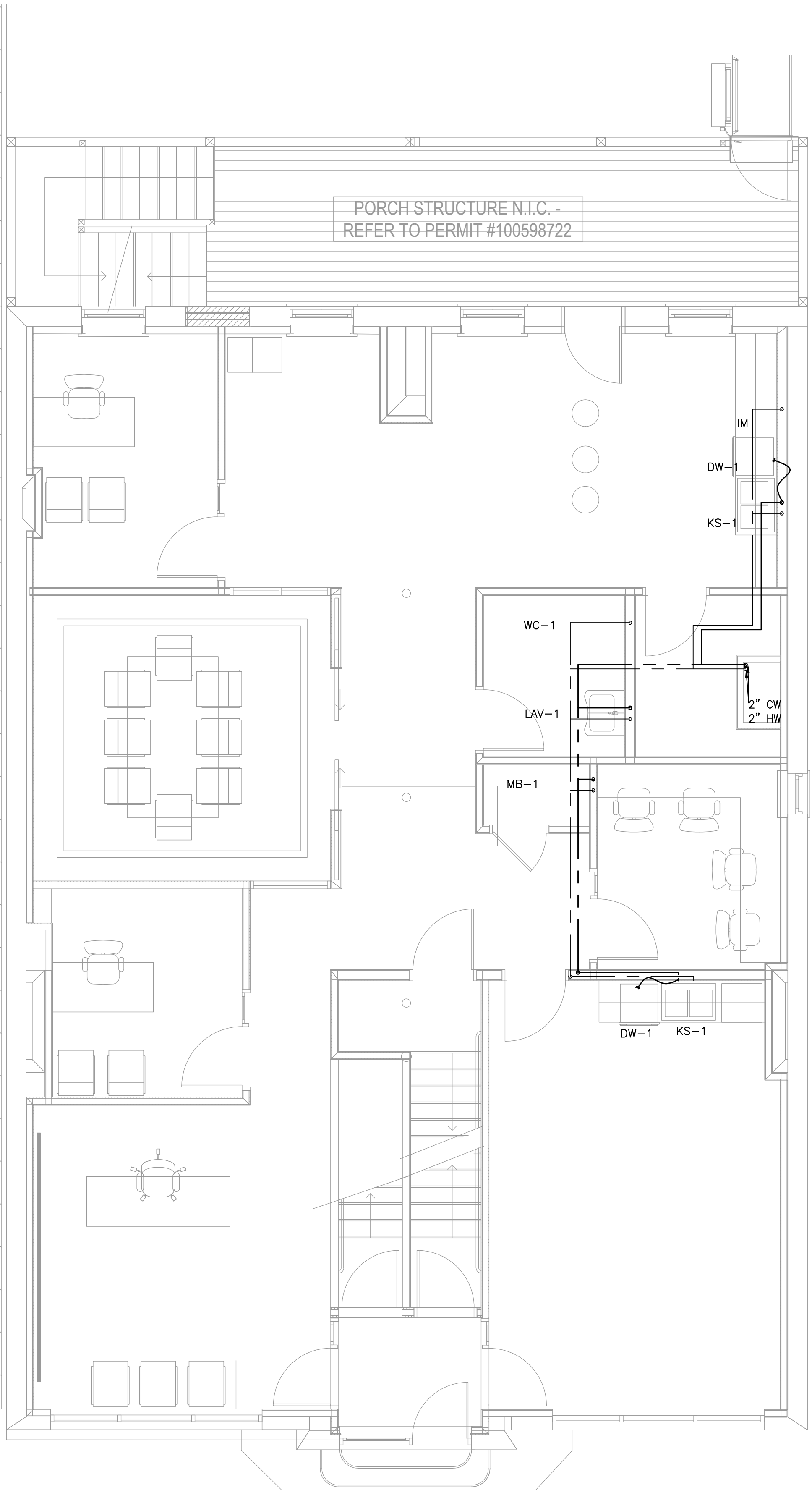
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**BASEMENT PLUMBING PLANS**

**P-101**



1 1ST FLOOR OVERALL PLAN  
P101 SCALE: 1/4"=1'-0" SANITARY AND VENT



2 1ST FLOOR OVERALL PLAN  
P102 SCALE: 1/4"=1'-0" DOMESTIC WATER

**GENERAL NOTES**

1. ALL CLOTHES WASHERS ARE PROVIDED IN ALL RESIDENTIAL UNITS AND ARE TO BE ENERGY STAR RATED.
2. TOILETS TO BE OFFSET FROM WALLS 1'-6" IN ALL 1ST FLOOR UNITS. SEE ARCHITECTURAL.
3. AT TYPE '504' AND 'A' ACCESSIBLE UNITS, CONTRACTOR SHALL OFFSET BATH AND SHOWER VALVES AND PROVIDE A FIXED AND AN ADJUSTABLE HANDHELD SHOWER HEAD W/ MIN. 59" HOSE (HS-1). SEE ARCHITECTURAL DRAWINGS.
4. WC-1 SHOULD BE LOCATED IN ALL RESIDENTIAL UNITS EXCEPT THOSE DESIGNATED AS ACCESSIBLE TYPE '504', 'A', 'B', 'VISITABLE' AND 'FHAK'. THOSE ACCESSIBLE UNITS MUST BE WC-2. LAV-1 TO BE USED ON ALL RESIDENTIAL UNITS EXCEPT ACCESSIBLE TYPE '504'. ACCESSIBLE TYPE '504' MUST HAVE LAV-2
5. REFER TO P100 FOR OVERALL FLOOR PLAN.
6. INSTALL ESCUTCHEON PLATES AT ALL CABINET PENETRATIONS.
7. INSTALL FLUSH CHROME CLEANOUT COVERS AT ALL WCO'S.
8. INSTALL STACK VENTS ON ALL SANITARY AND GREASE WASTE RISERS/STACKS IN 3RD FLOOR CEILING AND CONNECT TO NEAREST MAIN VENT LINE LEADING TO 4" VTR.

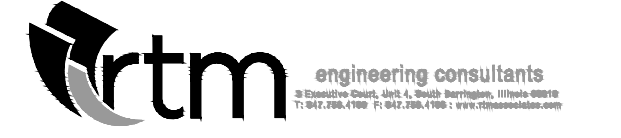
**KEY NOTES**

1. CONTRACTOR TO ROUTE DISCHARGE OF KITCHEN SINK TO GREASE SEPARATOR BELOW IT. VENT TO BE OFF OF GREASE SEPARATOR. SANITARY LINE TO BE TRAPPED PRIOR TO CONNECTION TO GREASE SEPARATOR.
2. PROVIDE 1/2" COLD WATER LINE WITH BFP TO ICE MAKER WITHIN REFRIGERATOR.
3. PROVIDE NEW 2" WATER CONNECTION TO EXISTING WATER LINE. PROVIDE SHUT OFF VALVE AND DIELECTRIC UNION.
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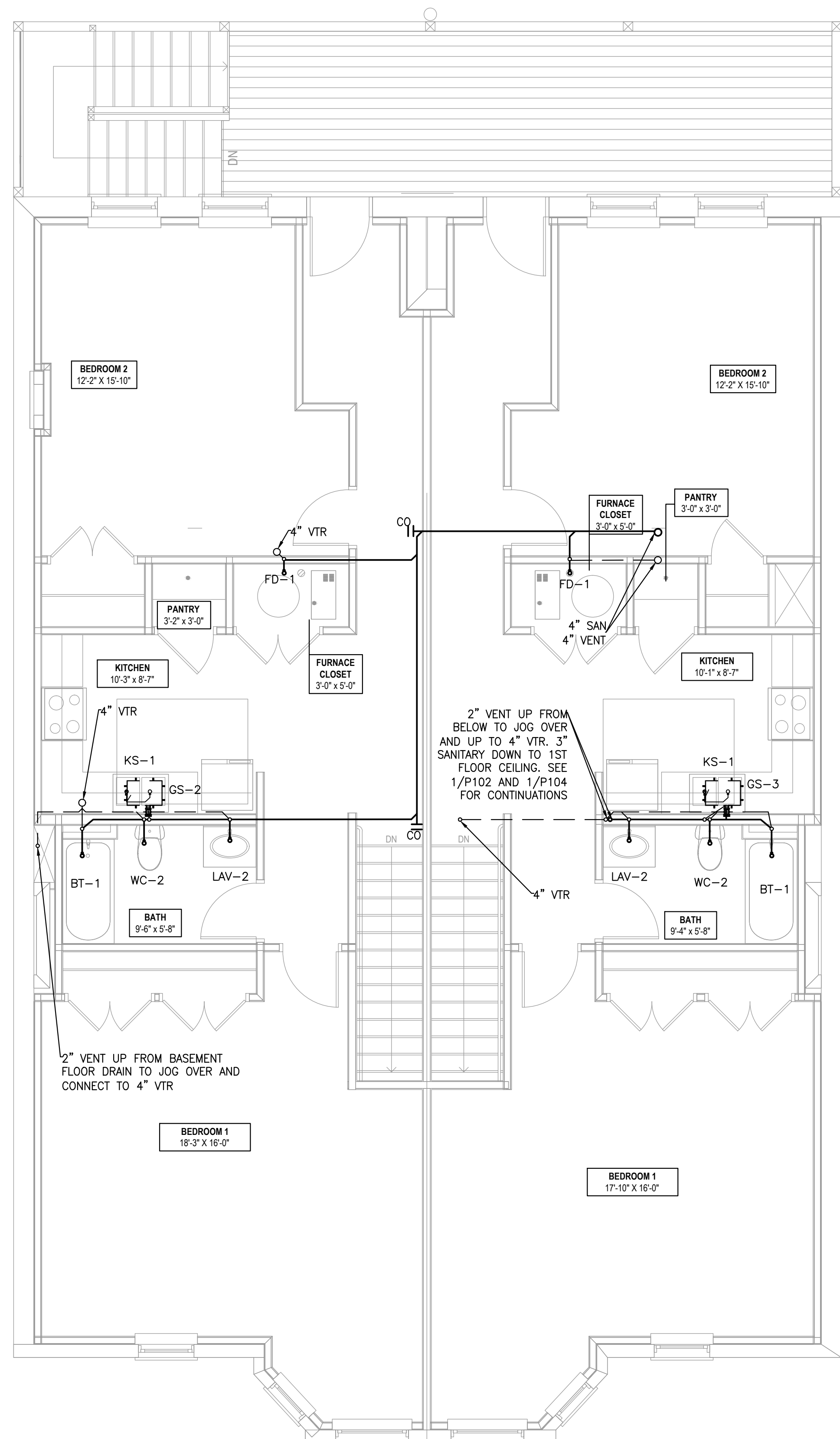
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09/20/2015	ISSUED FOR PERMIT
11/13/2015	ISSUED FOR PERMIT REV 1

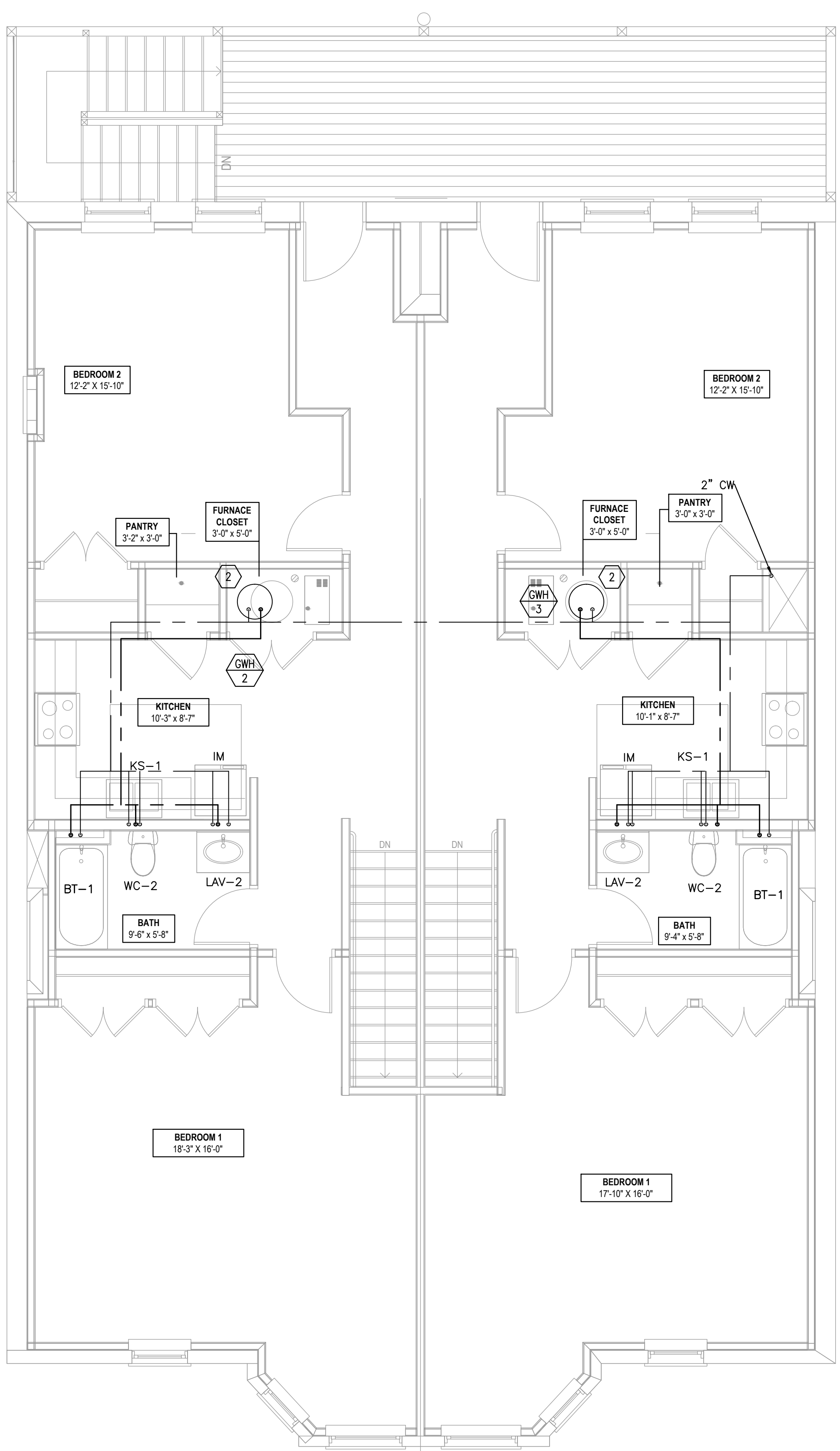


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**1ST FLOOR PLUMBING PLANS**



1  
P102  
2ND FLOOR OVERALL PLAN  
SCALE: 1/4"=1'-0"  
SANITARY AND VENT



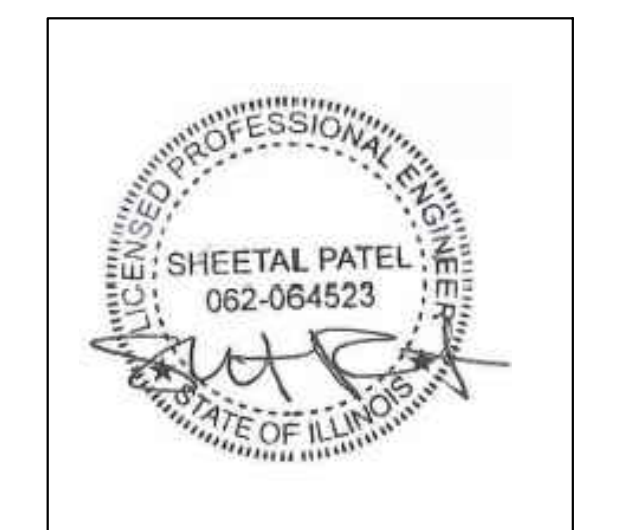
2  
P103  
2ND FLOOR OVERALL PLAN  
SCALE: 1/4"=1'-0"  
DOMESTIC WATER

**GENERAL NOTES**

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3. AT TYPE '504' AND 'A' ACCESSIBLE UNITS, CONTRACTOR SHALL OFFSET BATH AND SHOWER VALVES AND PROVIDE A FIXED AND AN ADJUSTABLE HANDHELD SHOWER HEAD W/ MIN. 59" HOSE (HS-1). SEE ARCHITECTURAL DRAWINGS.
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**KEY NOTES**

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2. PROVIDE 1/2" COLD WATER LINE WITH BFP TO ICE MAKER WITHIN REFRIGERATOR.
3. PROVIDE NEW 2" WATER CONNECTION TO EXISTING WATER LINE. PROVIDE SHUT OFF VALVE AND DIELECTRIC UNION.
4. PROVIDE NEW 4" SANITARY CONNECTION TO EXISTING 4" SANITARY MAIN.



I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED UNDER MY SUPERVISION AND THAT THEY COMPLY TO THE BEST OF MY KNOWLEDGE, WITH ALL THE BUILDING CODES AND ORDINANCES OF THE CITY OF CHICAGO, IL.

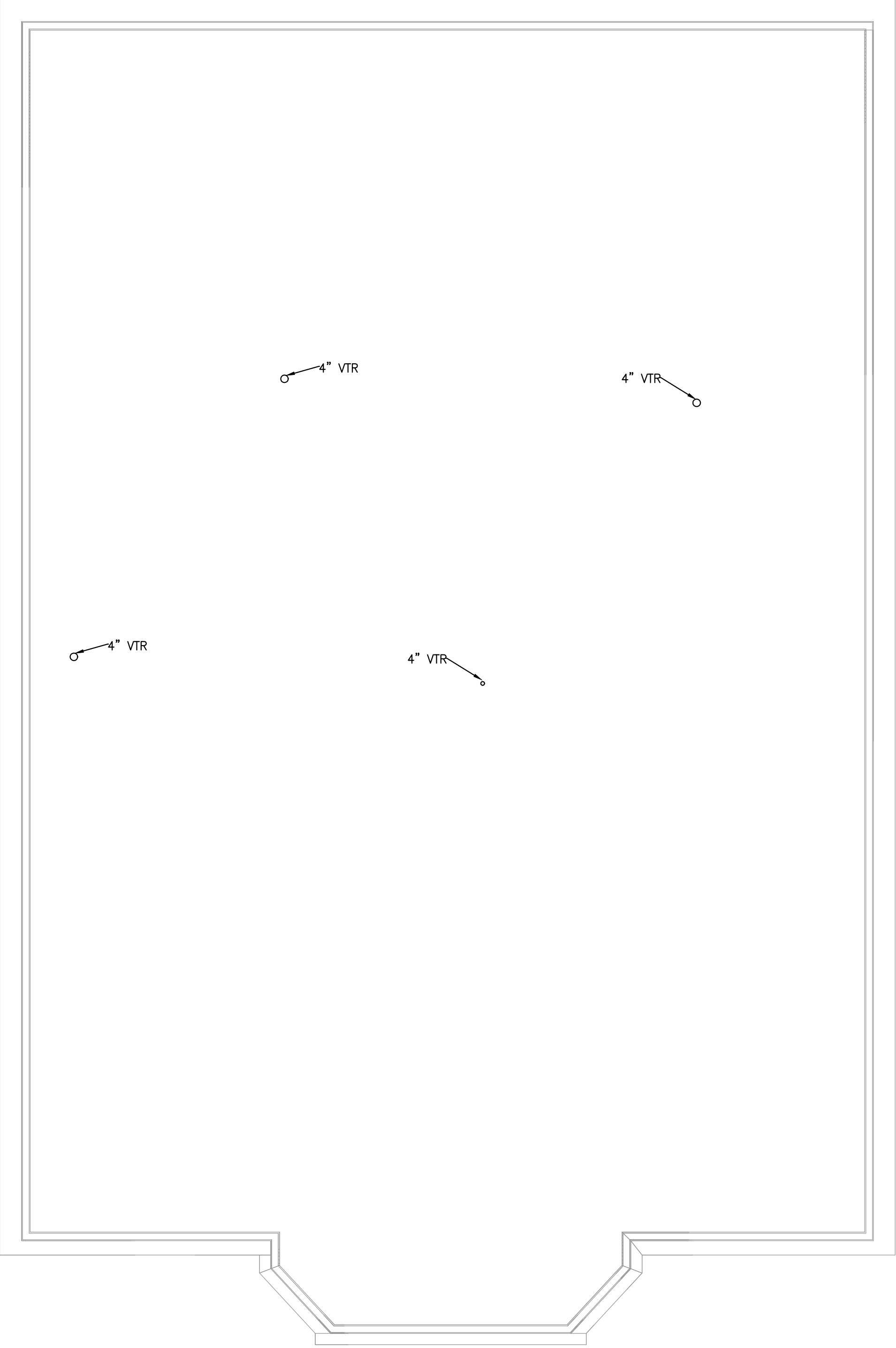
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**2ND FLOOR PLUMBING PLANS**



1  
P104

**ROOF PLAN**

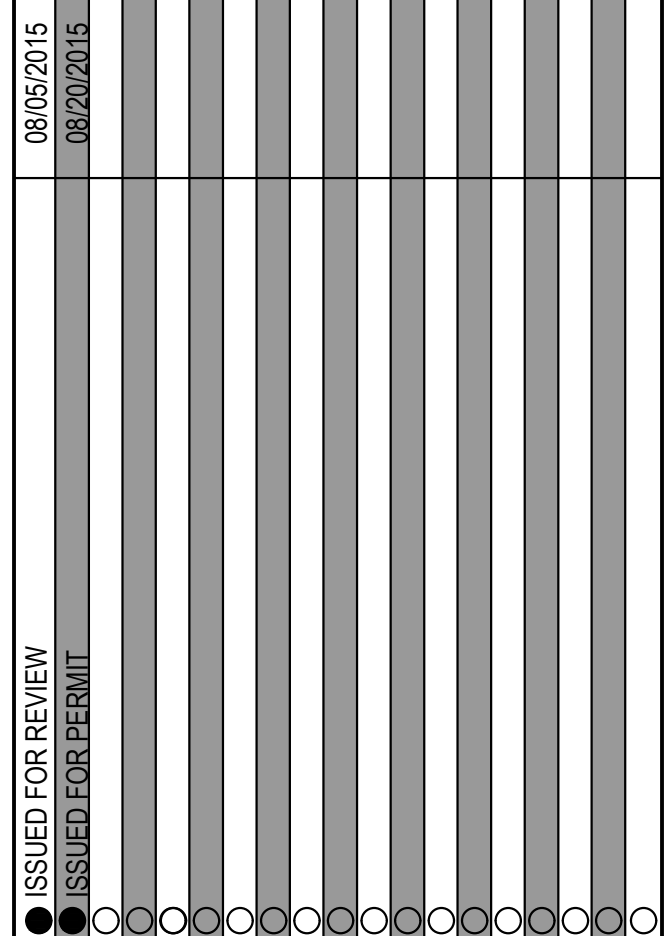
SCALE: 1/4"=1'-0"

PLUMBING

N



I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED UNDER MY SUPERVISION AND THAT THEY COMPLY TO THE BEST OF MY KNOWLEDGE WITH ALL THE BUILDING CODES AND ORDINANCES OF THE CITY OF CHICAGO, IL.

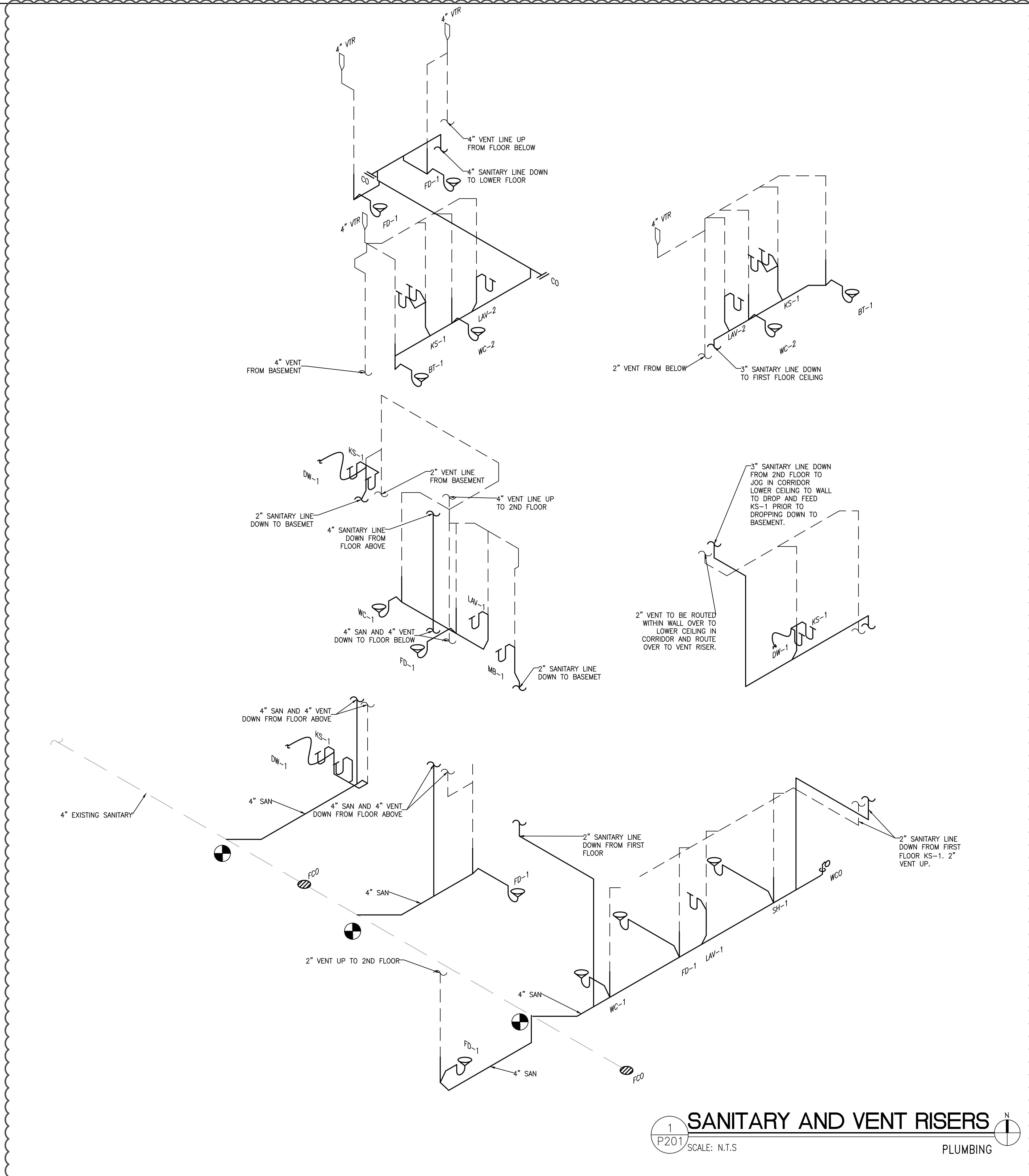


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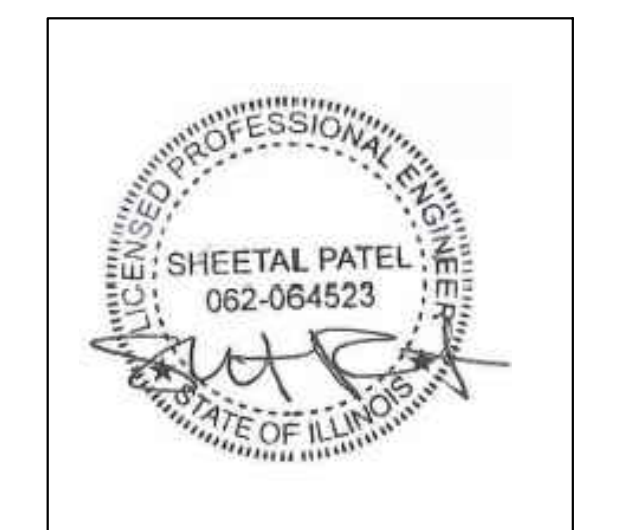
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**ROOF PLUMBING PLANS**

**P-104**



△ SVP  
11/13/15



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**SANITARY AND VENT RISER DIAGRAMS**

**P-201**



INTERIOR ELECTRICAL MOUNTING HEIGHTS				
	STANDARD UNITS	TYPE E24 ACCESSIBLE UNITS	TYPE A ACCESSIBLE UNITS	TYPE B UNITS
SWITCHES (TYPICAL WALL)	46"			
SWITCHES (KITCHEN COUNTER)	44"(NOTE 5)			
TELEPHONE/TV OUTLETS (TYPICAL WALL)	18"			
TELEPHONE OUTLETS (KITCHEN COUNTER)	44"(2,5)			
OUTLETS (TYPICAL WALL)	18"			
OUTLETS (KITCHEN COUNTER)	44"(2,5)			
OUTLETS (KITCHEN COUNTER AT LOW WALL)	28"(2,5)			
OUTLETS (VANITY NEAR MED CAB)	46"(3)	46"(2,3)	46"(3)	46"
INTERCOM	52"	48"(1)	52"	52"
THERMOSTAT	52"	48"(4)	52"	52"
CIRCUIT BREAKER PANEL	60"	48"(1)	60"	60"
TELEPHONE & CATV TERMINAL CABINET	60"			
SMOKE AND CO DETECTORS	CEILING			
HVI DEVICES OR BOXES	N/A		80"	N/A
WALL SCONCES	84"/(108"-3RD FLOOR ONLY)			
VANITY LIGHT FIXTURE	80"			
ALARM KEYPAD	52"	46"(1)		52"

**MOUNTING SCHEDULE NOTES:**

(#) INDICATES NOTE NUMBER, ALL HEIGHTS ARE FROM FLOOR ELEVATION TO CENTERLINE OF DEVICE UNLESS INDICATED OTHERWISE. ALL SWITCHES AND OUTLETS TO BE MOUNTED VERTICALLY UNLESS INDICATED OTHERWISE. WHEN A UNIT IS DESIGNATED AS MORE THAN ONE TYPE, THE MORE RESTRICTIVE RULE APPLIES.

- TO TOP BUTTON/BREAKER ON PANEL
- DEVICE MOUNTED HORIZONTALLY
- COORDINATE WITH LOCATION OF MEDICINE CABINET. LOCATE AS CLOSE AS POSSIBLE TO MEDICINE CABINET (WITHOUT INTERFERENCE).
- OPERATING BUTTONS HEIGHT TO NOT EXCEED 48" A.F.F.
- LOCATE MIN. 3' AWAY FROM INSIDE CORNER OF KITCHEN.

EXTERIOR ELECTRICAL MOUNTING HEIGHTS		
	STANDARD UNITS	TYPE E24 ACCESSIBLE UNITS
WALL MTD LIGHT FIXTURES (FRONT ELEVATIONS)		
FIRST FLOOR	N/A(2)	TBD
WALL MTD LIGHT FIXTURES (REAR ELEVATIONS)		
FIRST FLOOR	88"	96"
SECOND FLOOR	88"	N/A
THIRD FLOOR	88"	N/A
EXTERIOR OUTLETS	18"	
DOOR BELLS	N/A	46"(1)
INTERCOMS	46"(1)	N/A

**MOUNTING SCHEDULE NOTES:**

(#) INDICATES NOTE NUMBER, ALL HEIGHTS ARE FROM FLOOR ELEVATION TO CENTERLINE OF DEVICE UNLESS INDICATED OTHERWISE. ALL SWITCHES AND OUTLETS TO BE MOUNTED VERTICALLY UNLESS INDICATED OTHERWISE. WHEN A UNIT IS DESIGNATED AS MORE THAN ONE TYPE, THE MORE RESTRICTIVE RULE APPLIES.

- TO TOP BUTTON ON PANEL
- TO BE MOUNTED CENTERED IN CANOPY ABOVE.

**LIGHTING FIXTURE SCHEDULE**

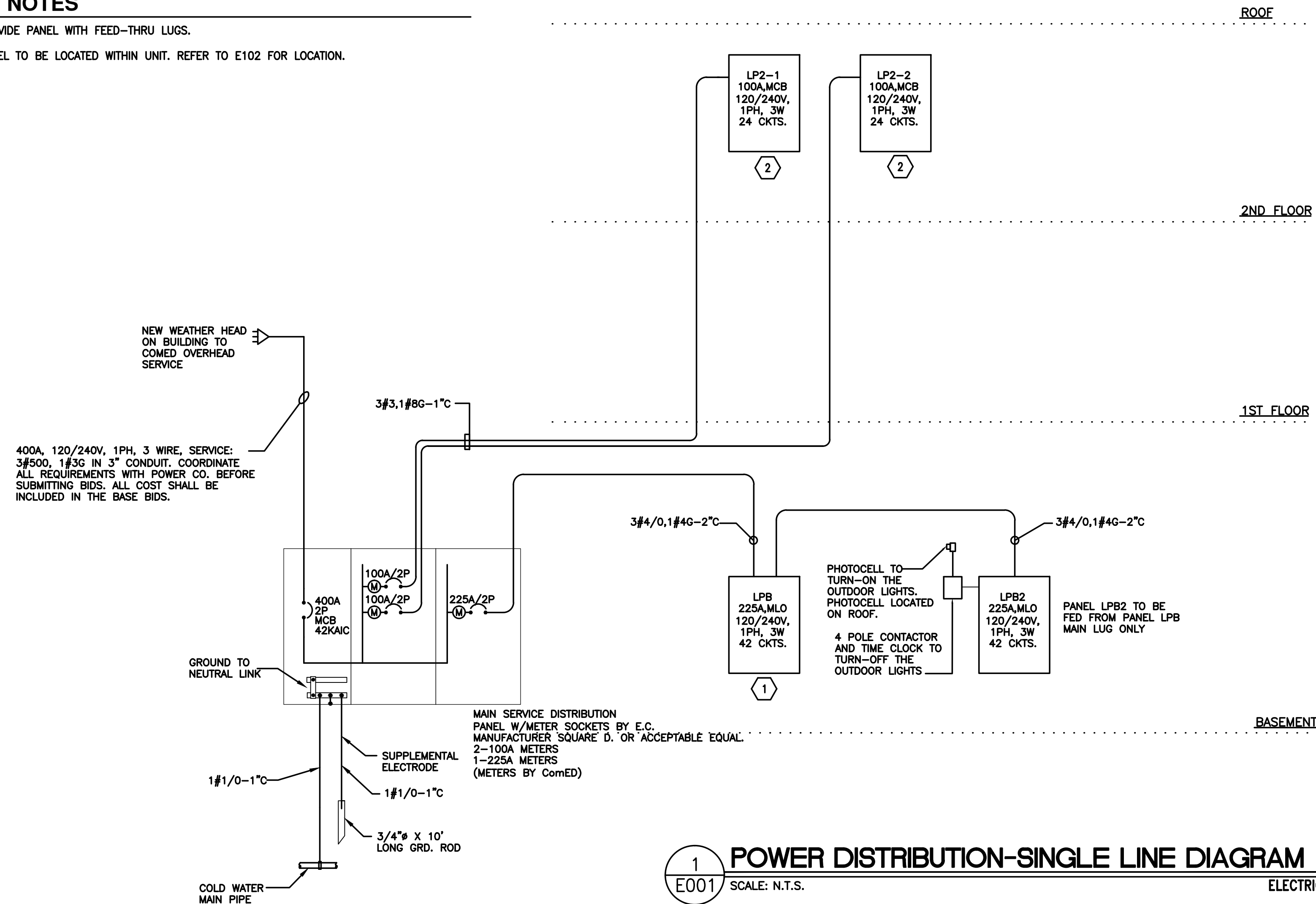
FIXTURE TYPE	DESCRIPTION	CATALOG NUMBER	MANUFACTURER	LAMPS	MOUNTING	VOLUME	REMARKS
A	LINEAR CURVE CEILING LIGHTING	F21U	LIGHTOLIER	(1) T5 21W	CEILING SURFACE	UNV	BASEMENT/1ST FLOOR CORRIDOR CEILING LIGHTING
B	CEILING LIGHTING	LFB	LITHONIA LIGHTING	(2) 130T 20W	CEILING SURFACE	UNV	BASEMENT/1ST FLOOR OPEN AREA CEILING LIGHTING
C	CEILING LIGHTING	TBD	TBD	TBD	CEILING SURFACE	UNV	BASEMENT STORAGE CEILING LIGHTING
D	2'x4' LED CEILING LIGHTING	2BL	LITHONIA LIGHTING	LED 30W	CEILING SURFACE	UNV	BASEMENT/1ST FLOOR STORAGE AND MECH ROOM CEILING LIGHTING
E	OUTDOOR WALL LIGHTING	4001PL	KOCHLER	(1) INCANDESCENT 60W	WALL SURFACE	UNV	BASEMENT/1ST FLOOR BACK PORCH CEILING LIGHTING
F	TBD	TBD	TBD	TBD	CEILING SURFACE	UNV	BASEMENT/1ST FLOOR BATHROOM SHOWER AND VANITY LIGHTING
G	2'x2' LED CEILING LIGHTING	2BL	LITHONIA LIGHTING	LED 24W	CEILING SURFACE	UNV	BASEMENT/1ST FLOOR BATHROOM AND TRAINING CEILING LIGHTING
H	PENDANT MOUNT	TB	AVS LIGHTING	(1) T5 21W	CEILING SURFACE	UNV	1ST FLOOR OFFICE CEILING LIGHTING
J	PENDANT MOUNT	TB	AVS LIGHTING	(1) T5 21W	CEILING SURFACE	UNV	1ST FLOOR CEILING LIGHTING
K	ENERGY STAR CEILING LIGHTING	EL-825	EFFICIENT LIGHTING	(3) 23W G24	CEILING SURFACE	120	LIVING ROOM & BEDROOMS FIXTURE
L	ENERGY STAR CEILING LIGHTING	EL-825	EFFICIENT LIGHTING	(1) 13W G24	CEILING SURFACE	120	HALLWAY FIXTURE
M	ENERGY STAR CEILING LIGHTING	EL-825	EFFICIENT LIGHTING	(1) 23W G24	CEILING SURFACE	120	KITCHEN AND DINING ROOM
N	3 LAMP, DECORATIVE VANITY	EL-210-03	EFFICIENT LIGHTING	(3) 23W G24	WALL	120	BATH, SHOWER, POWDER FIXTURE AT CABINETS/WALL HUNG 28" OR LESS
O	ENERGY STAR FLUORESCENT CLOSET LAMP HOLDER FIXTURE	006-0840-LH0	LENTON	1-13W FLUORESCENT	CEILING SURFACE	120	UNIT CLOSETS FIXTURE
P	ENERGY STAR CEILING LIGHTING	EL-825	EFFICIENT LIGHTING	1-13W FLUORESCENT	CEILING SURFACE	120	UTILITY CLOSETS AND PUBLIC STAIRS

**LIGHTING FIXTURE SCHEDULE NOTES:**

- ALL LIGHTING FIXTURES ARE SELECTED AND SPECIFIED BY ARCHITECT.
- VERIFY AND COORDINATE ALL TRIM KITS, MOUNTING BRACKETS, LAMPS FINISHES, ETC. WITH ARCHITECT.
- PROVIDE ELECTRONIC BALLASTS FOR ALL FLUORESCENT FIXTURES.
- PROVIDE ALL NECESSARY ACCESSORIES FOR COMPLETE OPERATION INCLUDING LAMPS.
- VERIFY COLOR TEMPERATURE AND CRI OF ALL FIXTURES WITH ARCHITECT.
- SITE TO USE DIFFUSED/MUTED LIGHTING SO NO DIRECT BEAMS LEAVE THE SITE.
- GASKETS ARE NEEDED AT ALL SURFACE MOUNTED LIGHTS.

**PLAN NOTES**

- PROVIDE PANEL WITH FEED-THRU LUGS.
- PANEL TO BE LOCATED WITHIN UNIT. REFER TO E102 FOR LOCATION.



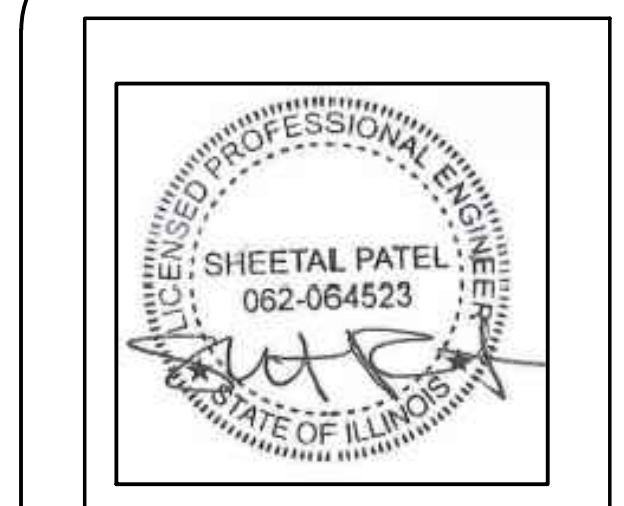
**1 E001 POWER DISTRIBUTION-SINGLE LINE DIAGRAM ELECTRICAL**  
SCALE: N.T.S.

**ELECTRICAL SYMBOL LIST**

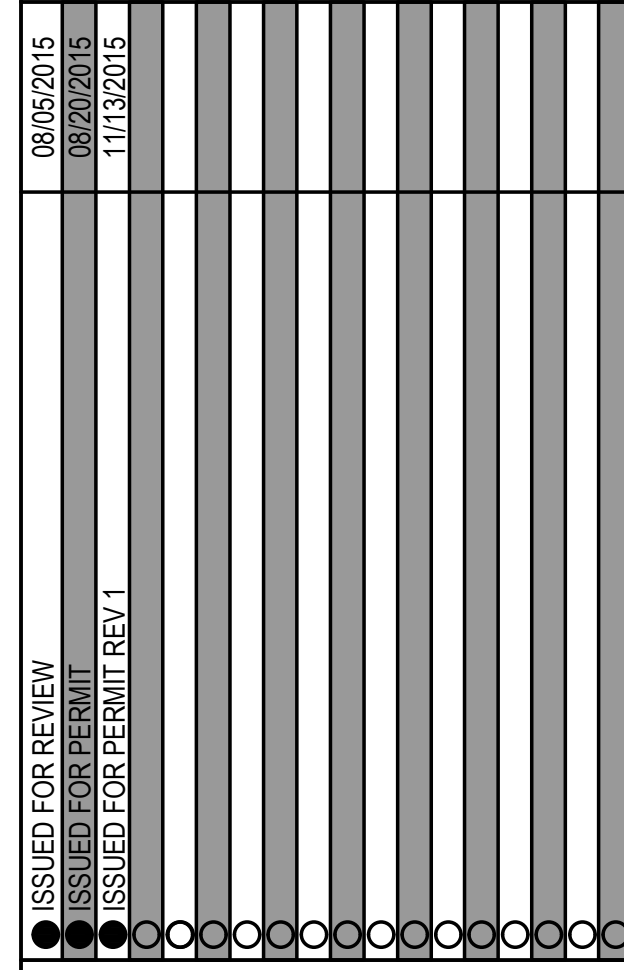
HTV	CABLE TV OUTLET @18" AFF
SD	SMOKE DETECTOR/ALARM WITH 120V WITH BATTERY BACK-UP (CODE APPROVED)
CO	CO DETECTOR/ALARM WITH RESET, 120V AND BATTERY BACK-UP (CODE APPROVED)
⊕	DUPLEX RECEPT - * DEDICATED 20A, 120V CKT. GF: GROUND FAULT INTER WP: WATER PROOF ENCLOSURE
⊕	DUPLEX OUTLET ABOVE THE COUNTER OR 44" AFF
⊕	QUAD RECEPTACLE
HUBV	HUBBELL SYSTEM POKE THRU WITH DUPLEX AND AV
⊕	JUNCTION BOX
⊕	DISCONNECT
⊕	TELEPHONE JACK
⊕	TELEPHONE JACK ABOVE COUNTER OR 44" AFF
F/L	TOILET EXHAUST FAN W/ LIGHT AND WIRED BY E.C. (SWITCHED)
H	KITCHEN HOOD W/ LIGHT AND WIRED BY E.C
⊕	SINGLE-POLE SWITCH @42" AFF UNLESS OTHERWISE NOTED.
⊕	THREE-POLE SWITCH @42" AFF UNLESS OTHERWISE NOTED.
⊕	JUNCTION BOX & DISCONNECT FOR FURNACE, OUTLET FOR DISHWASHER
⊕	FULLY RECESSED ELECTRICAL PANEL UTILITY ELECTRIC METER
⊕	HOMERUN

**ABBREVIATION**

WP:	WEATHERPROOF
MW:	MICROWAVE
CF/L:	CEILING FAN WITH LIGHT
F/L:	COMBO EXHAUST FAN AND LIGHT
FD:	FOOD DISPOSAL
DW:	DISHWASHER
W:	WASHER
D:	DRYER
F:	FURNACE
WH	WATER HEATER
REF:	REFRIGERATOR
NL:	NIGHT LIGHT
H/L:	KITCHEN HOOD WITH LIGHT
AFF:	ABOVE FINISHED FLOOR
TTC:	TELEPHONE CABINET
HF:	HOUSE FAN



I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED UNDER MY SUPERVISION AND THAT THEY COMPLY TO THE BEST OF MY KNOWLEDGE WITH ALL THE BUILDING CODES AND ORDINANCES OF THE CITY OF CHICAGO, IL.



**CTU Immigrants Center**  
9805 S Ewing  
Chicago, IL 60617

**RISER DIAGRAM & LIGHTING FIXTURE SCHEDULE**

**E-001**





PANEL: LPB		FRAME SIZE: 225A		VOLTAGE: 120/240							
LOCATION: BASEMENT		MCB (AMPS): 225A		PHASE: 1φ							
FEEDER: SEE RISER DIAGRAM		AIC: 22,000		WIRE: 3W+G							
CKT NO.	BR	P	LC CHAN.	CIRCUIT DESCRIPTION	PHASE A	PHASE B	CIRCUIT DESCRIPTION	LC CHAN.	BR	P	CKT NO.
1	15	1		EF-1	48.2	48.2	SPARE		20	1	2
3	15	1		EF-2		50	50		20	1	4
5	15	1		EF-3	230	230	SPARE		20	1	6
7	15	1		EF-4		48.2	48.2		20	1	8
9	15	1		EF-5	115	115	SPARE		20	1	10
11	15	1		AHU-1		480	480		20	1	12
13	15	1		AHU-2	480	480	SPARE		20	1	14
15	15	1		AHU-3		480	480		20	1	16
17	15	1		GWH-1	341	341	CU-6		30		18
19	15	1		AHU-6	1955	1955			20	1	20
21	20	1		EF-8	29.4	29.4	BASEMENT RANGE HOOD		40		22
23	20	1		SPARE	4500	2700	BASEMENT DOUBLE OVEN		15	1	24
25	20	1		SPARE		4500	2700		15	1	26
27	20	1		SPARE		500	500		15	1	28
29	20	1		SPARE		1955	1955		30		30
31	20	1		SPARE		1955	1955		30		32
33	20	1		SPARE		1955	1955		30		34
35	20	1		SPARE		1955	1955		30		36
37	20	1		SPARE		1955	1955		30		38
39	20	1		SPARE		12708	12708		400		40
41	20	1		SPARE	11698	11698	PANEL LPB2		400		42
TOTAL CONNECTED AND DEMAND LOADS (VA)					25741.6	23941.6	26806.2	25006.2	L.O.=LOCKOUT BREAKER		
TOTAL DIVERSIFIED LOADS (VA)					23941.6		25006.2				
TOTAL AMPERAGE					203.95				PROVIDE PANEL WITH FEED THRU LUGS		

PANEL: LPB2		FRAME SIZE: 225A		VOLTAGE: 120/240								
LOCATION: BASEMENT		MLO (AMPS): 225A		PHASE: 1φ								
FEEDER: SEE RISER DIAGRAM		AIC: 22,000		WIRE: 3W+G								
CKT NO.	BR	P	LC CHAN.	CIRCUIT DESCRIPTION	PHASE A	PHASE B	CIRCUIT DESCRIPTION	LC CHAN.	BR	P	CKT NO.	
1	20	1		EXTERIOR LIGHTING	548	548	FIRST FLOOR GRANT WRITER RECEPTACLES		20	1	2	
3	20	1		OPEN BASEMENT LIGHTING	520	520	FIRST FLOOR OFFICE RECEPTACLES		20	1	4	
5	20	1		BASEMENT STORAGE LIGHTING	271	271	FIRST FLOOR CONFERENCE ROOM		20	1	6	
7	20	1		BASEMENT KITCHEN/BATHROOM LIGHTING	1080	1080	FIRST FLOOR OFFICE 4		20	1	8	
9	20	1		VESTIBULE LIGHTING	21	21	FIRST FLOOR RECEPTION RECEPTACLES		20	1	10	
11	20	1		1ST FLOOR OFFICE LIGHTING	300	300	FIRST FLOOR OFFICE SHARE RECEPTACLES		20	1	12	
13	20	1		1ST FLOOR OPEN AREA/CORRIDOR LIGHTING	278	278	FIRST FLOOR BREAK ROOM/KITCHEN GFI		20	1	14	
15	20	1		1ST FLOOR OFFICE/TRAINING LIGHTING	1080	1080	FIRST FLOOR BREAK ROOM DISHWASHER		20	1	16	
17	20	1		L.O. FIRST FLOOR EM LIGHTING	502	502	FIRST FLOOR BREAK ROOM REFRIGERATOR		20	1	18	
19	20	1		L.O. BASEMENT EM LIGHTING	900	900	FIRST FLOOR COUNTER RECEPTACLES		20	1	20	
21	20	1		L.O. EXIT SIGNS	50	50	FIRST FLOOR GENERAL RECEPTACLES		20	1	22	
23	20	1		L.O. BASEMENT/FIRST FLOOR CO AND SD	900	900	FIRST FLOOR PRINTER		20	1	24	
25	20	1		BASEMENT RECEPTACLES	1440	1440	FIRST FLOOR KITCHENETTE DISHWASHER		20	1	26	
27	20	1		TELEPHONE BOARD QUAD	804	804	FIRST FLOOR KITCHENETTE REFRIGERATOR		20	1	28	
29	20	1		CABLE CABINET QUAD	360	360	SPARE		20	1	30	
31	20	1		BASEMENT STORAGE RECEPTACLES	900	900	ROOF GFIPW RECEPTACLES		20	1	32	
33	20	1		BASEMENT KITCHEN/BATHROOM GFI	900	900	SPARE		20	1	34	
35	20	1		BASEMENT KITCHEN DISHWASHER		804	804	SPARE		20	1	36
37	20	1		BASEMENT REFRIGERATOR	900	900	SPARE		20	1	38	
39	20	1		SPARE			SPARE		20	1	40	
41	20	1		SPARE			SPARE		20	1	42	
TOTAL CONNECTED AND DEMAND LOADS (VA)					11473	11473	11813	11813	L.O.=LOCKOUT BREAKER			
TOTAL DIVERSIFIED LOADS (VA)					11473		11813					
TOTAL AMPERAGE					97.03							

PANEL: TYPICAL 2 BEDROOM UNIT		FRAME SIZE: 100A		VOLTAGE: 120/240								
LOCATION: RECESSED IN UNIT		MCB: 100A		PHASE: 1φ								
FEEDER: SEE RISER DIAGRAM ON E001		AIC: 10,000		WIRE: 3W+G								
CKT NO.	BR	P	FAULT CB.	CIRCUIT DESCRIPTION	PHASE A	PHASE B	CIRCUIT DESCRIPTION	FAULT CB.	BR	P	CKT NO.	
1	20	1	A	MASTER BEDROOM RECEPTACLES	1000	500	KITCHEN SMALL APPLIANCE	GFCI	20	1	2	
3	20	1	A	BEDROOM 2 RECEPTACLES	1500	1500	KITCHEN SMALL APPLIANCE & HOOD	GFCI	20	1	4	
5	20	1	-	DINING ROOM RECEPTACLES	1000	500	REFRIGERATOR	-	20	1	6	
7	20	1	-	LIVING ROOM RECEPTACLES	600	600	DISHWASHER	-	20	1	8	
9	20	1	-	BATHROOM GFCI RECEPTACLE	1500	750	SECURITY CIRCUIT	L.O.	20	1	10	
11	20	1	-	SPARE					30		12	
13	20	1	-	UNIT LIGHTING/HOUSE FAN	744	744	CU-4,5	-	2		14	
15	20	1	-	GIWH-1			500	500	SPARE	-	20	16
17	20	1	-	AIR HANDLING UNIT	460	460	SD/CO	L.O.	20	1	18	
19	20	1	-	SPARE					-	20	1	20
21	20	1	-	SPARE					-	20	1	22
23	20	1	-	SPARE					-	20	1	24
TOTAL CONNECTED AND DEMAND LOADS (VA)					9359	7609	6655	5905	A - ARC FAULT C.B.			
TOTAL DIVERSIFIED LOADS (VA)					7609		5905		GFCI - GFCI C.B.			
TOTAL AMPERAGE					56.31				L.O. - LOCKABLE C.B.			

**COMMERCIAL OCCUPANCY LOAD CALCULATIONS**

Project Name: CTU IMMIGRANT'S CENTER  
 Address: 8800 S. FERRIS AVENUE CHICAGO, IL  
 Area Served: BASEMENT/FIRST FLOOR  
 Equipment Name: MAIN SWITCHBOARD  
 Size (Amps): 500A

Voltage:  480Y/277V, 3φ, 4W  240/120V, 1φ, 3W  
 480V, 3φ, 3W  240V, 3φ, 3W

Feeder Type:  Service  Distribution  Branch  Other  
 Load Type:  Lighting  Appliance  Heat  Emerg./Lift LTD  
 Motor  Receptacle  Other  Misc. Switch/Fuse

Overcurrent Protection:  MCO  Inlet C/B  Inlet Switch/Fuse  
 Subfed From: \_\_\_\_\_ VA A  C/B  Switch/Fuse  
 Feeder Size: (1) SET OF 3 #000 MCM

**LOAD CALCULATIONS**

General Lighting: Feeder No. 8

Lighting: \_\_\_\_\_ X Area Per FLR: 2,278 = 4,491  
 (sq.ft.) (sq.ft.) (watts)

Floors Served: 2 X Area Per FLR: 2,278 = 4,491  
 (sq.ft.) (sq.ft.) (watts)

Total Area: 4,491 X (2.0) = 8,982  
 (sq.ft.) (watts/sq.ft.) (watts)

Receptacles: \_\_\_\_\_ X \_\_\_\_\_ = 4,491  
 Total Area or (No. of recept.) or (sq.ft.) (watts/recept.) or (watts/sq.ft.) (watts)

Added Recept. \_\_\_\_\_ At 100% Demand = 4,491  
 (watts) (watts)

Remarking at 50% Demand = \_\_\_\_\_ X 50% = 0  
 (watts) (watts) (watts)

Total Load = 15,834 + 4,491 = 20,325  
 (watts) (VA) (watts) (VA) (watts) (VA)

Lighting Amps: 20,325 / 240 = 84.7  
 (watts) (VOLT) (amps)

Heat & HVAC Loads:

No. of Electrical Cooling Units: 3 X 19,17/17 = 53  
 (Cooling Amps)

Heating AMPS: 1072 / 240 = 4.5  
 (watts) (watts) (amps)

Appliance Loads:

No. of Appliance #: 3 REF X 800 = 2,400  
 (watts) (watts) (watts)

Appl. AMPS: 1800 / 240 = 7.5  
 (watts) (watts) (amps)

Justification Loads:

No. of Appliance #: 3 DW X 804 = 2,412  
 (watts) (watts) (watts)

Appl. AMPS: 812 / 240 = 3.4  
 (watts) (watts) (amps)

Total AMPS: 84.7 + 4.5 + 7.5 + 3.4 = 99.1  
 (amps) (amps) (amps) (amps) (amps)

Total AMPS: Lighting AMPS + Motor AMPS + Heating AMPS + Appl. AMPS = 99.1  
 (amps) (amps) (amps) (amps) (amps)

Feeder Size: 3 #000, 1450, 3°C.

**SERVICE LOAD CALCULATION FOR MULTIFAMILY DWELLING**

SUBMITTER: MICHAELS DEVELOPMENT COMPANY  
 DWELLING UNIT ADDRESS: CTU IMMIGRANT'S CENTER  
 DWELLING UNIT EQUIPMENT NAME: METER CENTER  
 TYPE OF DWELLING UNIT: APARTMENT X CONDOMINIUM OTHER

NUMBER OF DWELLING UNITS: 2  
 OUTSIDE BUILDING DIMENSIONS: LENGTH 58' WIDTH 40' AVAILABLE FAULT CURRENT (FROM UTILITY CO.): \_\_\_\_\_  
 NUMBER OF FLOORS: 1 TOTAL SQUARE FT.: 2,278

TYPE OF ELECTRICAL SERVICE: 1 PHASE 3 WIRE 120/240 VOLTS 600 AMPERES  
 SIZE OF SERVICE ENTRANCE - RACEWAY (2) - 2-2 1/2" UNGROUNDED THIN CONDUCTORS, (2) SETS OF 3#000 MCM  
 GROUNDED THIN CONDUCTOR(S) (2) SETS OF #1

SIZE OF GROUNDING ELECTRODE THIN CONDUCTOR #2/0 GROUNDING ELECTRODE CONDUCTOR RACEWAY 1"  
 SIZE OF O.C.P. 600A TYPE OF O.C.P. MCB

**GENERAL LIGHTING LOAD CALCULATION**

GENERAL LIGHTING LOAD: <u>2,278</u> SQUARE FT. X 3 VA=	UNGROUNDING	GROUNDING
6,834	6,834	6,834
SMALL APPLIANCE LOAD: <u>2</u> BRANCH CIRCUITS X 1500VA X <u>2</u> UNITS=	6,000	6,000
TOTAL VA	12,834	12,834

1.) GENERAL LIGHTING DEMAND LOAD

FIRST 30,000 VA OR LESS AT 100%:	UNGROUNDING	GROUNDING
15,834	15,834	15,834
NEXT 100,000 VA AT 35%:	0	0
REMANINDER OVER 100,000 VA AT 25%:	0	0
TOTAL VA	15,834	15,834

2.) FASTENED-IN-PLACE APPLIANCE DEMAND LOAD:

APPLIANCE	QTY	HP	VOLT	AMP.	VA	DEMAND FACTOR	UNGROUNDING	GROUNDING
REFRIGERATOR	2				900 X 70%		1,350	1,350
TOTAL VA							1,350	1,350

3.) NONCOINCIDENTAL LOAD HEATING VS COOLING LOAD

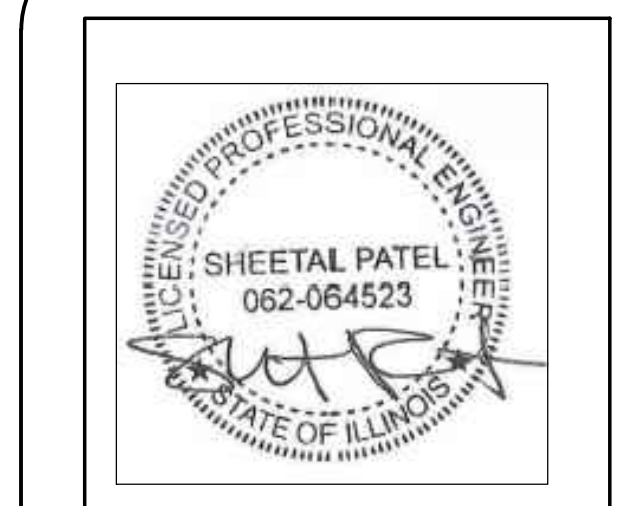
(2) CONDENSING UNITS	UNGROUNDING	GROUNDING
2 UNITS X 3,810VA = 7,620VA	7,620	0
(2) FURNACES	0	0
2 UNITS X 450VA = 900VA	900	0
LARGER VA	7,820	0

TOTAL COMPUTED LOAD

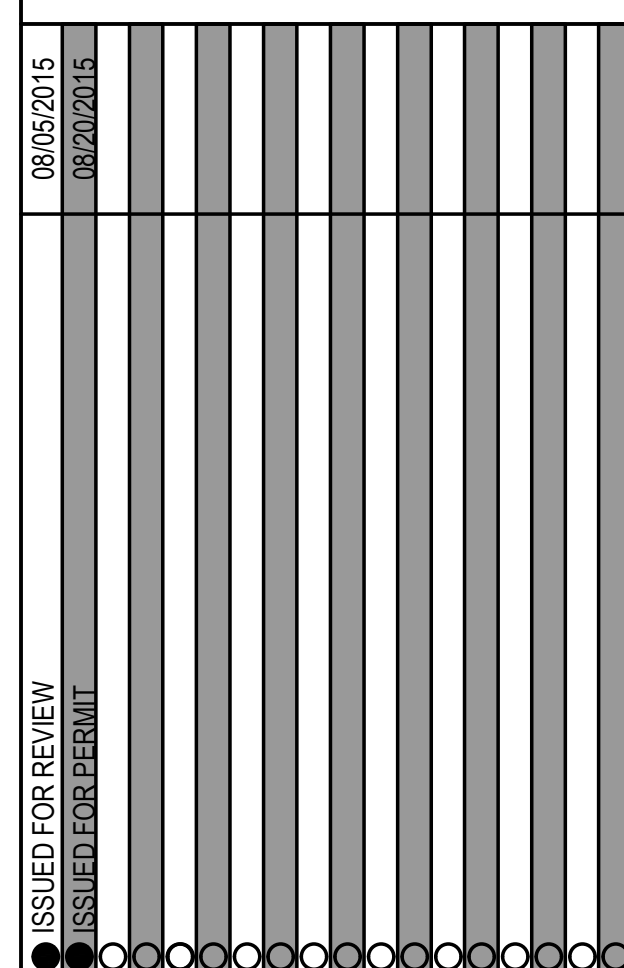
1.) GENERAL LIGHTING DEMAND LOAD	UNGROUNDING	GROUNDING
15,834	15,834	15,834
2.) FASTENED-IN PLACE APPLIANCE DEMAND LOAD	1,350	1,350
3.) NONCOINCIDENTAL LOAD	7,820	0
TOTAL VA	22,004	14,184

**SIZING OF SERVICE-ENTRANCE CONDUCTORS**

UNGROUNDING CONDUCTOR LOAD 22,004 VA / 240 = 92 AMPS  
 GROUNDED CONDUCTOR LOAD 14,184 VA / 240 = 60 AMPS



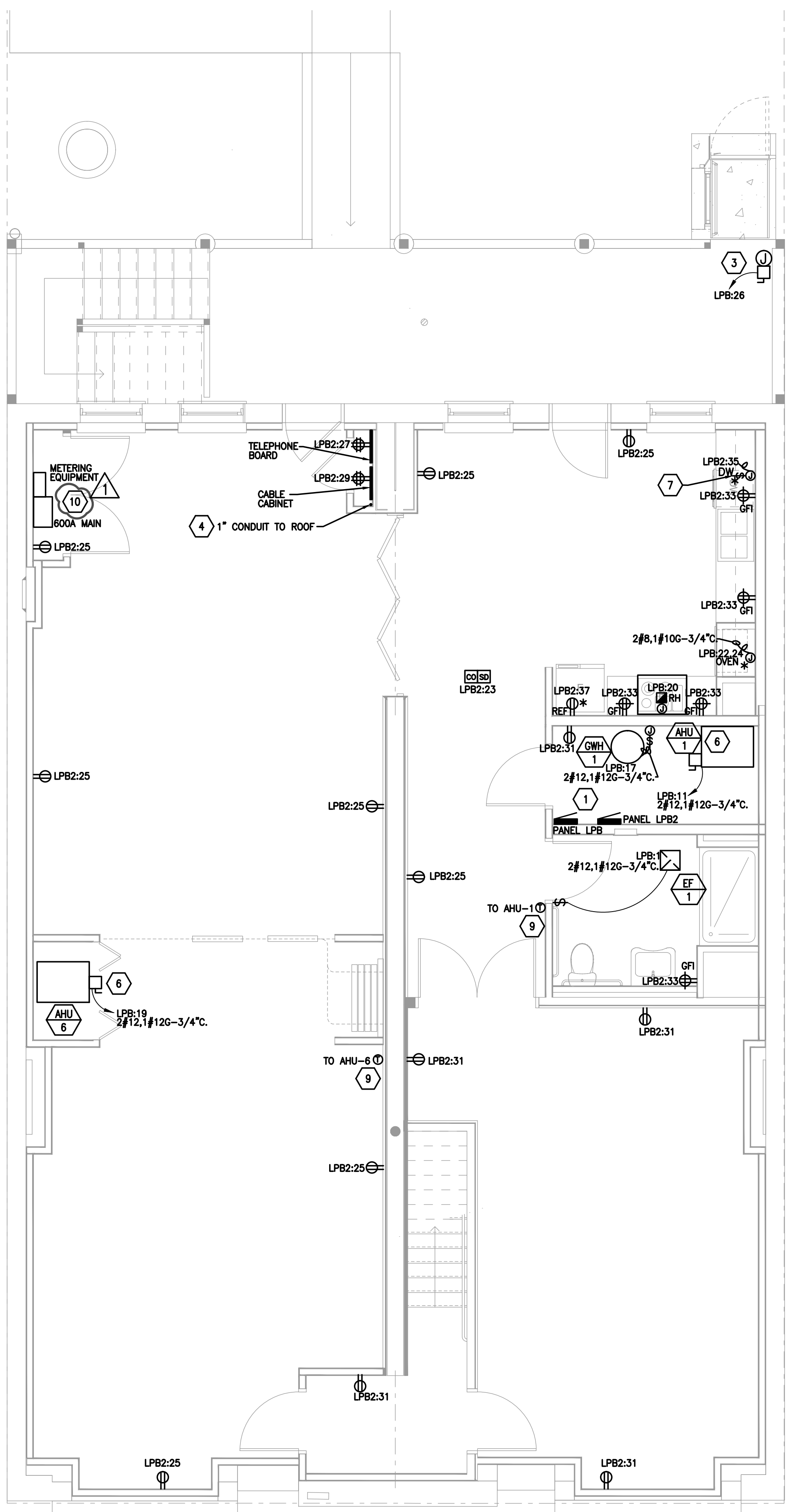
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED UNDER MY SUPERVISION AND THAT THEY COMPLY TO THE BEST OF MY KNOWLEDGE, WITH ALL THE BUILDING CODES AND ORDINANCES OF THE CITY OF CHICAGO, IL.



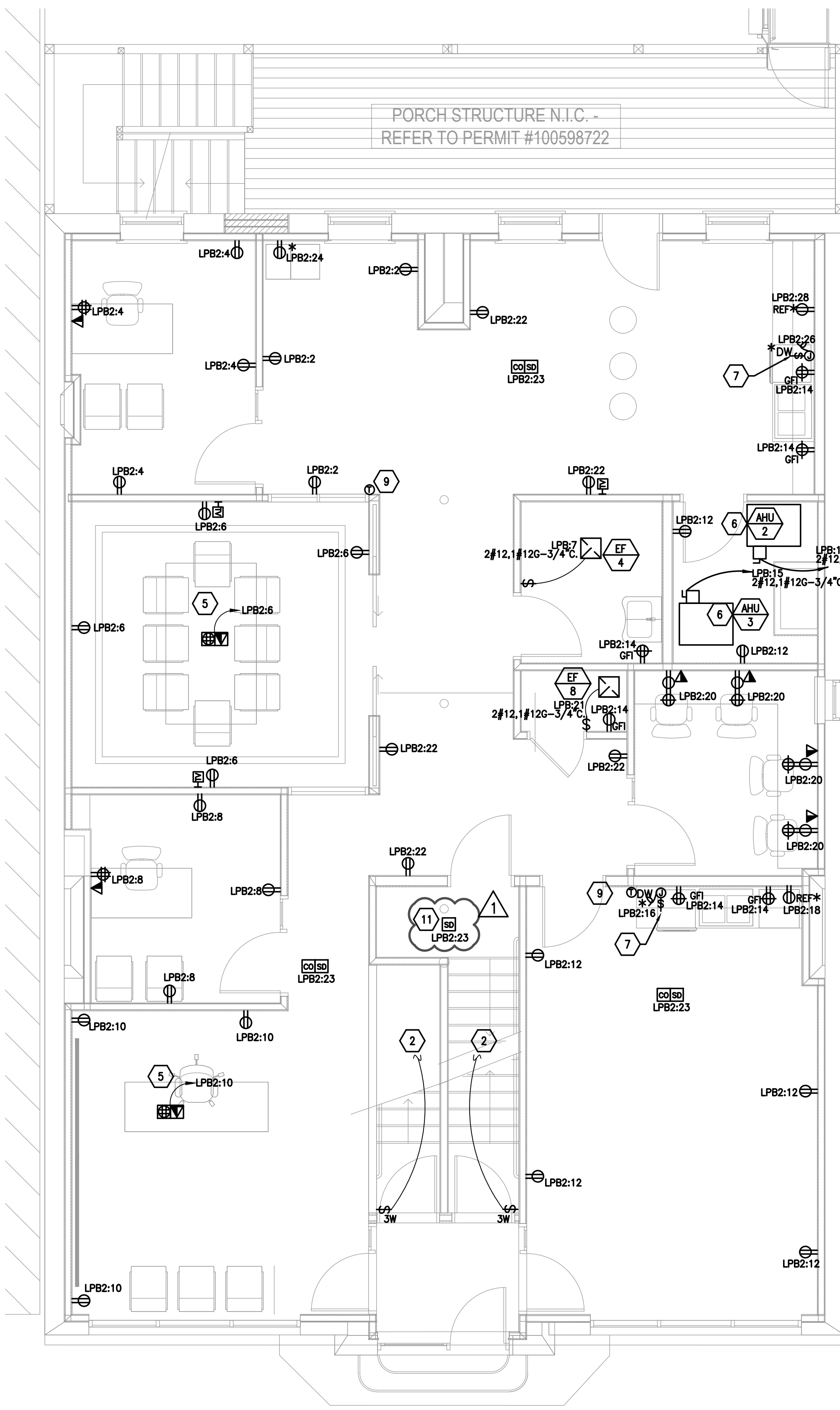
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 9805 S Ewing  
 Chicago, IL 60617

**PANEL SCHEDULES & LOAD CALCULATIONS**

**E-003**



**1 BASEMENT POWER PLAN**  
E101 SCALE: 1/4"=1'-0" ELECTRICAL



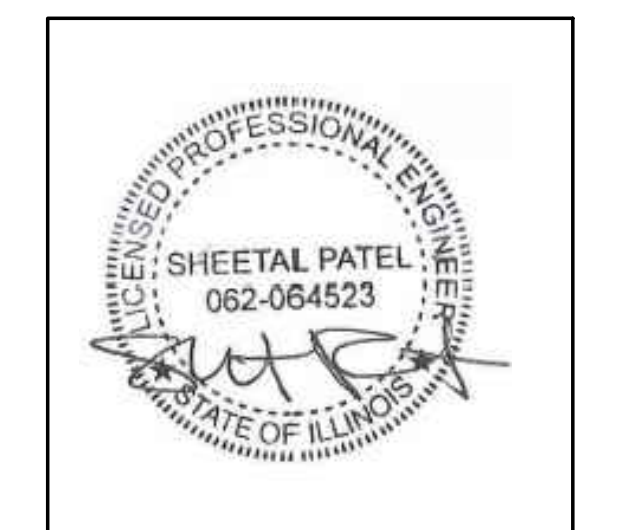
**2 1ST FLOOR POWER PLAN**  
E101 SCALE: 1/4"=1'-0" ELECTRICAL

**GENERAL NOTES**

1. NO ELECTRICAL DEVICES SHALL BE MOUNTED BACK TO BACK IN DEMISING WALLS. DEVICES IN ADJACENT UNITS SHALL NOT BE LOCATED IN THE SAME STUD CAVITY. ELECTRICAL DEVICES ON OPPOSITE SIDES OF FIRE RATED WALLS & PARTITIONS SHALL BE IN SEPARATE STUD CAVITIES & SHALL BE SEPARATED BY A MINIMUM HORIZONTAL DISTANCE OF 24".
2. ALL DUPLEX RECEPTACLE OUTLETS SHOWN ON THIS PLAN SHALL BE 20A, 120V GROUNDING, UNLESS NOTED OTHERWISE. SEE PANEL SCHEDULE ON SHEET E003 FOR CIRCUITING INFORMATION.
3. ALL DUPLEX RECEPTACLE OUTLETS OR OTHER DEVICE MARKED WITH "\*" SHALL BE WIRED ON A DEDICATED 20A, 120V, 1P CIRCUIT. SEE PANEL SCHEDULE ON E003 FOR CIRCUITING
4. CONTRACTOR SHALL PULL CABLE/WIRE FOR CATV & PHONE & TRIM OUT ALL OUTLETS.
5. ALL KITCHEN COUNTER RECEPTACLES SHALL BE GFCI PROTECTED.
6. PENETRATING HOLES IN THE DEMISING WALLS, STAIR WALLS, & THE THERMAL ENVELOPE INCLUDING THE ATTIC SHALL BE NO MORE THAN 1" LARGER IN DIAMETER THAN THE PENETRATING OBJECT & SHALL BE FULLY SEALED WITH CAULK OR FOAM. ADDITIONALLY, PROVIDE GASKET AT ALL CEILING FIXTURE BOXES.
7. REFER TO SHEET E001 FOR DEVICE MOUNTING HEIGHTS.

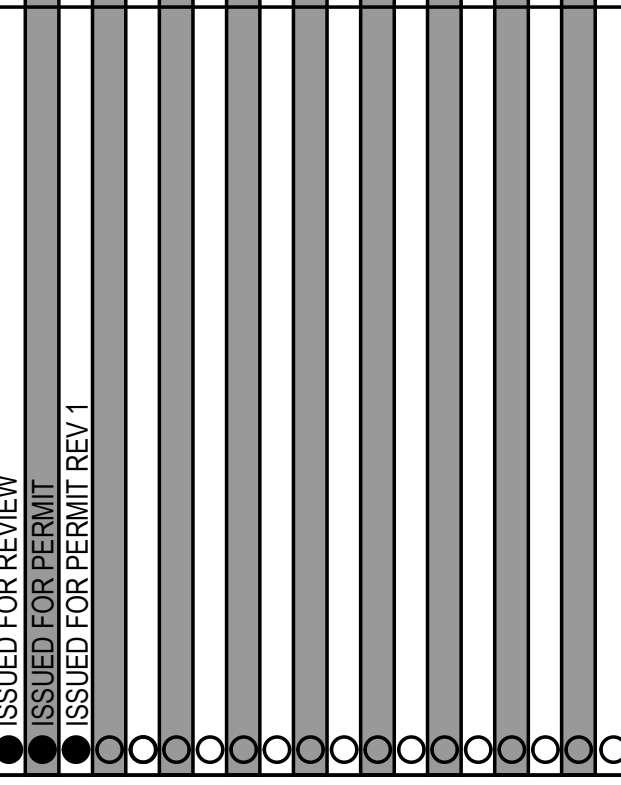
**PLAN NOTES**

- 1 ELECTRICAL PANELS FOR COMMERCIAL SPACE. COORDINATE EXACT LOCATION WITH OWNER.
- 2 3W SWITCH FOR STAIR LIGHTING TO UNIT. REFER TO E102 FOR CONTINUATION.
- 3 PROVIDE POWER, CONDUIT, AND WIRING TO WHEELCHAIR LIFT AS SHOWN. PROVIDE LOCAL DISCONNECT AT LIFT. COORDINATE EXACT REQUIREMENTS WITH PRODUCT SPECIFICATION.
- 4 ROUTE 1" CONDUIT FROM MEDIA PANEL TO ROOF.
- 5 PROVIDE HUBBELL SYSTEM ONE POKE-THRU FITTING WITH (2) DUPLEX OUTLETS AND (2) AV OUTLETS. COORDINATE EXACT REQUIREMENTS WITH OWNER.
- 6 PROVIDE LOCAL DISCONNECT FOR UNIT.
- 7 PROVIDE ABOVE COUNTER DISCONNECT FOR DISHWASHER.
- 8 NOT USED.
- 9 THERMOSTAT TO CONTROL FURNACE. SEE MECHANICAL SHEETS FOR FURTHER INFORMATION. E.G. SHALL PROVIDE ALL REQUIRED CONDUITS AND JUNCTION BOXES FOR THERMOSTAT AS REQUIRED.
- 10 METERBANK LOCATION SHALL BE ACCESSIBLE FOR ALL OCCUPANTS.
- 11 PROVIDE HARDWIRED SMOKE DETECTOR AT THE TOP OF THE SHAFT OF THE STAIRWELL LEADING FROM THE BASEMENT TO THE FIRST FLOOR.



I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED UNDER MY SUPERVISION AND THAT THEY COMPLY TO THE BEST OF MY KNOWLEDGE WITH ALL THE BUILDING CODES AND ORDINANCES OF THE CITY OF CHICAGO, IL.

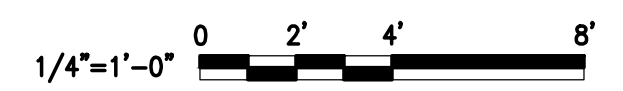
06/05/2015  
06/20/2015  
11/13/2015

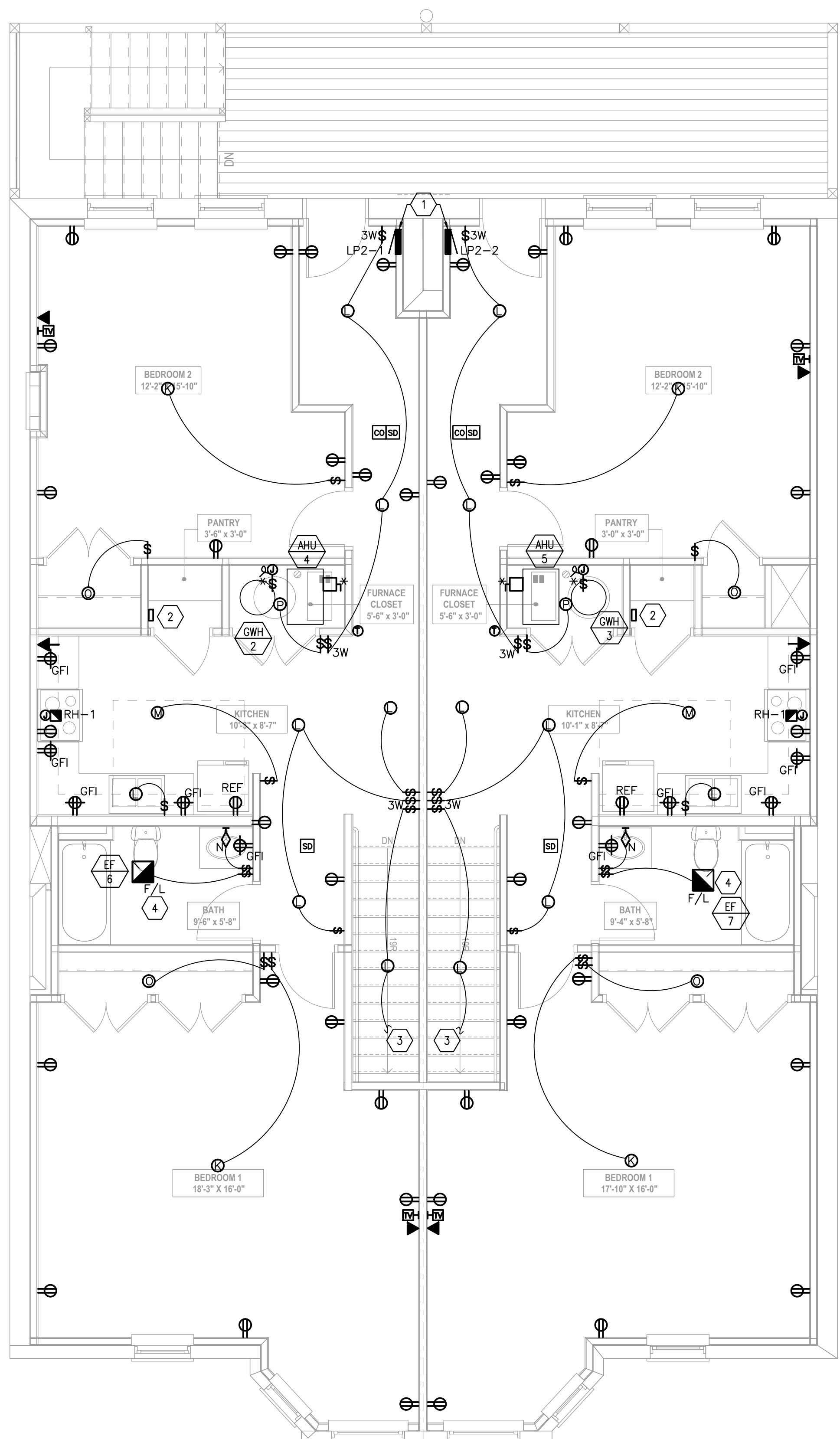


**CTU Immigrants Center**  
9805 S Ewing  
Chicago, IL 60617

**BASEMENT AND 1ST FLOOR POWER PLANS**

**E-101**





1  
E102 2ND FLOOR OVERALL PLAN  
SCALE: 1/4"=1'-0"  
ELECTRICAL

**GENERAL NOTES**

1. NO ELECTRICAL DEVICES SHALL BE MOUNTED BACK TO BACK IN DEMISING WALLS. DEVICES IN ADJACENT UNITS SHALL NOT BE LOCATED IN THE SAME STUD CAVITY. ELECTRICAL DEVICES ON OPPOSITE SIDES OF FIRE RATED WALLS & PARTITIONS SHALL BE IN SEPARATE STUD CAVITIES & SHALL BE SEPARATED BY A MINIMUM HORIZONTAL DISTANCE OF 24".
2. ALL DUPLEX RECEPTACLE OUTLETS SHOWN ON THIS PLAN SHALL BE 20A, 120V GROUNDING, UNLESS NOTED OTHERWISE. SEE PANEL SCHEDULE ON SHEET E003 FOR CIRCUITING INFORMATION.
3. ALL CIRCUITS INSIDE BEDROOMS SHALL BE PROTECTED BY AN ARC-FAULT CIRCUIT.
4. E.C. TO PROVIDE POWER WIRING & CONTROL CONDUIT OF ALL CONDENSING UNITS ON THE ROOF. CONDENSING UNITS ARE TO BE WIRED FROM UNIT ELECTRICAL PANEL.
5. ALL DUPLEX RECEPTACLE OUTLETS OR OTHER DEVICE MARKED WITH "\*" SHALL BE WIRED ON A DEDICATED 20A, 120V, 1P CIRCUIT. SEE PANEL SCHEDULE ON SHEET E003 FOR CIRCUITING
6. CONTRACTOR SHALL PULL CABLE/WIRE FOR CATV & PHONE & TRIM OUT ALL OUTLETS.
7. ALL EXTERIOR FIXTURES TO BE FULL CUT OFF FIXTURES THAT DO NOT ALLOW LIGHT TO LEAVE THE SITE & THE MAXIMUM CANDELA VALUE OF ALL INTERIOR LIGHTING FALLS WITHIN THE BUILDING. ANY LUMINAIRE WITHIN A DISTANCE OF 2.5X ITS MOUNTING HEIGHT FROM THE PROPERTY BOUNDARY SHALL HAVE SHIELDING SO NO LIGHT FROM THAT LUMINAIRE CROSSES THE PROPERTY BOUNDARY.
8. ALL RECEPTACLES NEW AND EXISTING SHALL BE NO MORE THAN 6'-0" FROM DOORS AND 12'-0" ON CENTER IN ALL LIVING AREAS AND BEDROOMS. COMPLY ALL REQUIREMENTS WITH ARTICLE 18-27-210.8.
9. IN THE KITCHEN TWO OR MORE 20A SMALL-APPLIANCE BRANCH CIRCUITS ARE REQUIRED, WHICH WILL SERVE ALL WALL OUTLETS, COUNTERS, A RECEPTACLE SHALL BE INSTALLED AT EACH WALL COUNTER SPACE THAT IS 12" OR WIDER AND THAT AT NO POINT ALONG THE WALL LINE IS MORE THAN 24" MEASURED HORIZONTALLY FROM A RECEPTACLE OUTLET IN THAT SPACE.
10. ALL KITCHEN COUNTER RECEPTACLES SHALL BE GFCI PROTECTED.
11. REFER TO SHEET E003 FOR CIRCUITING
12. PENETRATING HOLES IN THE DEMISING WALLS, STAIR WALLS, & THE THERMAL ENVELOPE INCLUDING THE ATTIC SHALL BE NO MORE THAN 1" LARGER IN DIAMETER THAN THE PENETRATING OBJECT & SHALL BE FULLY SEALED WITH CAULK OR FOAM. ADDITIONALLY, PROVIDE GASKET AT ALL CEILING FIXTURE BOXES.
13. REFER TO SHEET E001 FOR DEVICE MOUNTING HEIGHTS.

**PLAN NOTES**

- 1 MAIN ELECTRICAL PANEL TO BE FULLY RECESSED. PANEL SHOULD BE LABELED PER UNIT
- 2 DUPLEX RECEPTACLE & TELEPHONE OUTLET @66+AFF FOR TELEPHONE CABINET & SECURITY SYSTEM. TERMINATE LOW VOLTAGE CABINET TO ROOF FOR FUTURE SATELLITE CONNECTIONS.
- 3 CONNECT TO 3-WAY SWITCH ON LOWER LEVEL ENTRANCE TO UNIT REFER TO E101 FOR CONTINUATION.
- 4 WALL SWITCH TO CONTROL FIXTURE F/L. REFER TO MECHANICAL DRAWINGS FOR SPECIFICATION.

**PERMIT COMMENTS AND RESPONSES**

PROVIDE HARDWIRED 110 VOLT SMOKE DETECTOR ON TOP OF EACH ENCLOSED STAIRWELL  
 RESPONSE: A SMOKE DETECTOR HAS BEEN ADDED TO THE TOP OF THE STAIRWELL LEADING FROM THE BASEMENT TO THE FIRST FLOOR SHEET E101. THE OTHER TWO STAIRWELLS SHOWN ON E102 ARE DEDICATED AND OPEN TO THE UNITS ABOVE AND NOT ENCLOSED.

SVP 1/11/16



I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED UNDER MY SUPERVISION AND THAT THEY COMPLY TO THE BEST OF MY KNOWLEDGE WITH ALL THE BUILDING CODES AND ORDINANCES OF THE CITY OF CHICAGO, IL.

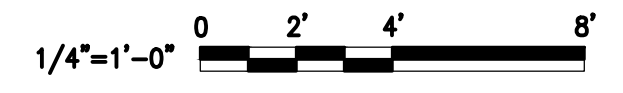
06/05/2015	ISSUED FOR REVIEW
06/20/2015	ISSUED FOR PERMIT
11/13/2015	ISSUED FOR PERMIT REV 1
07/11/2016	ISSUED FOR PERMIT REV 2 / 2

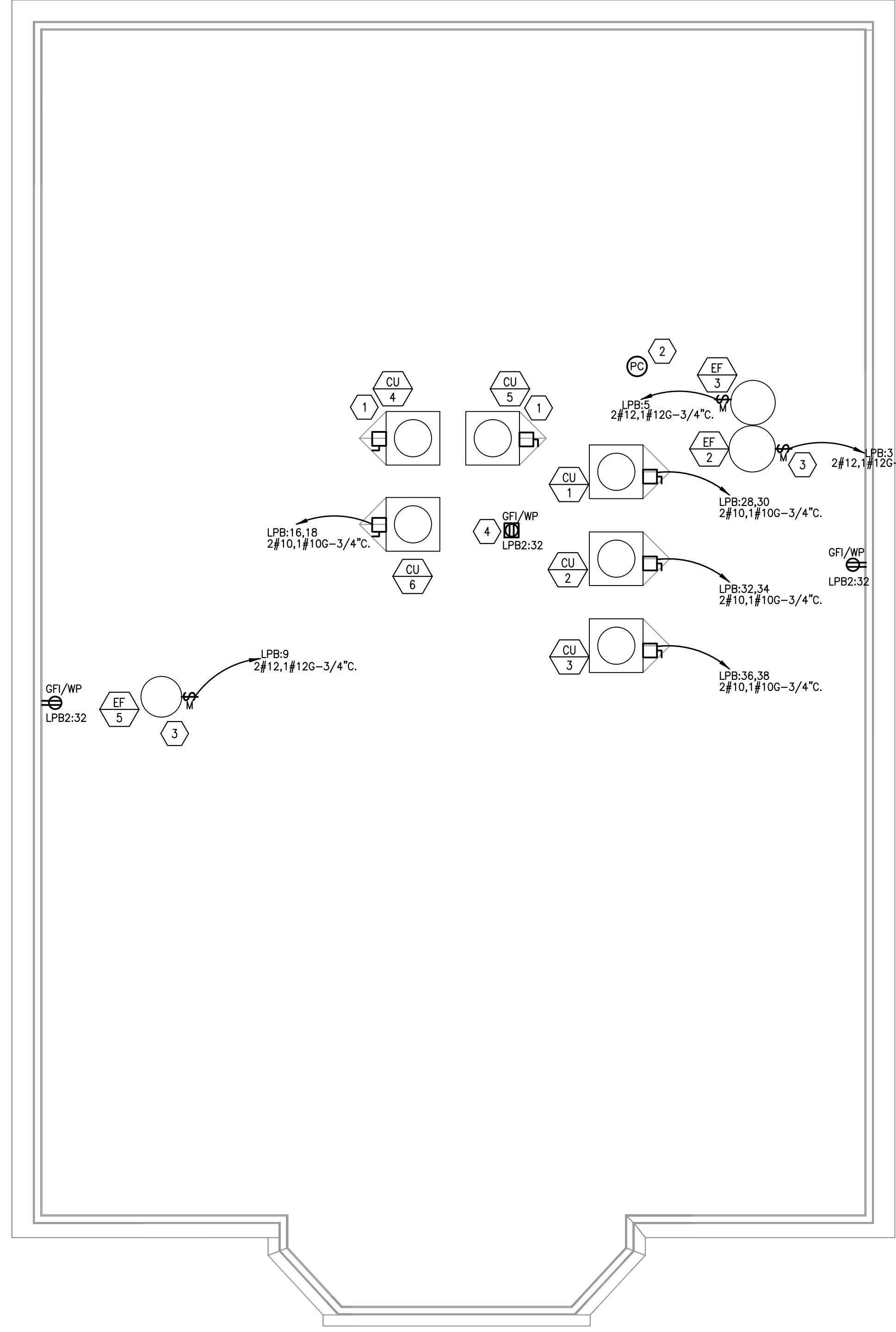


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**2ND FLOOR ELECTRICAL PLAN**

**E-102**





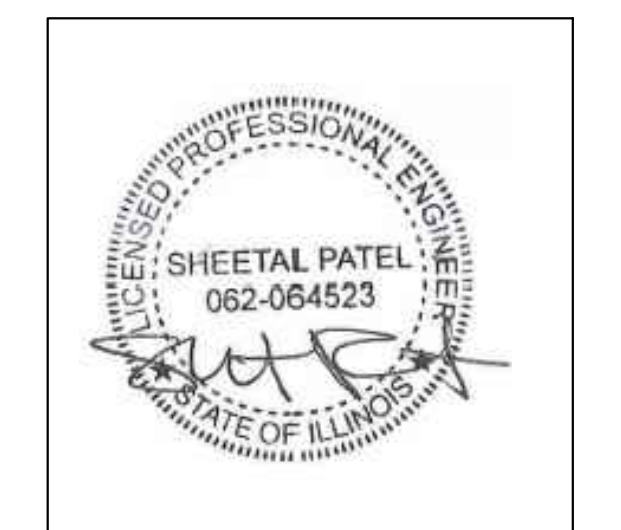
**GENERAL NOTES**

1. REFER TO E003 FOR CIRCUITING.

**KEY NOTES**

- 1 EACH AC UNIT SHALL BE FED FROM THE UNIT IT SUPPLIES. PROVIDE CODE APPROVED DISCONNECT FOR EACH UNIT. THE MINIMUM WIRE SIZE SHALL BE #10 PLUS A GROUND.
- 2 PHOTOCCELL FOR EXTERIOR LIGHTING CONTROL. COORDINATE EXACT LOCATION IN THE FIELD.
- 3 EXHAUST FAN TO TIE INTO INTEGRAL HEAT SENSOR. SEE MECHANICAL SHEETS FOR FURTHER INFORMATION.
- 4 STUB 3/4" C. THROUGH ROOF FOR CONVENIENCE OUTLET AS SHOWN.

**1 ELECTRICAL ROOF PLAN**  
 E103 SCALE: 1/4"=1'-0"  
 ELECTRICAL



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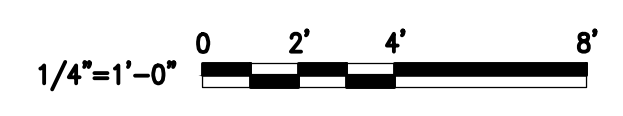
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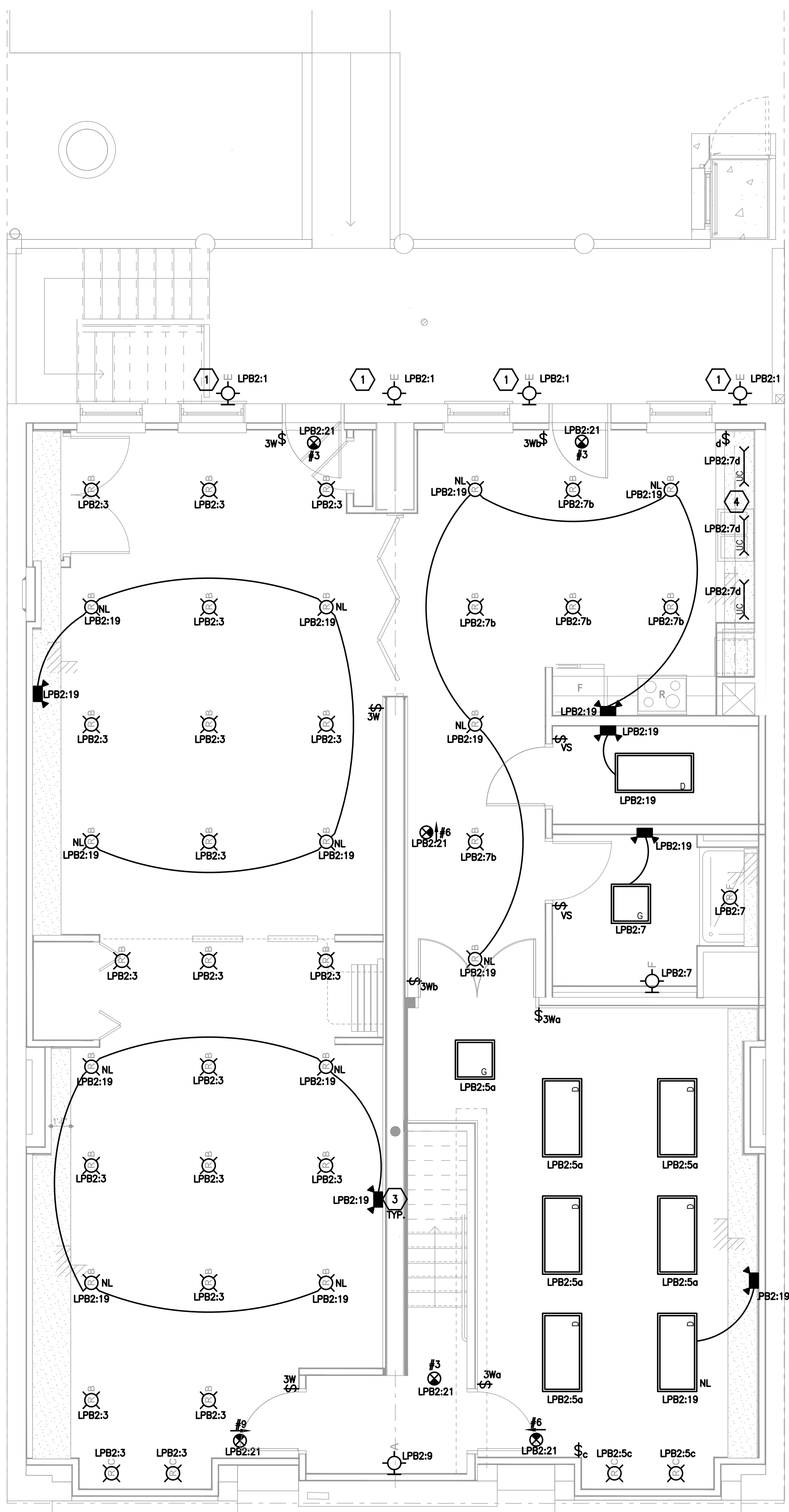


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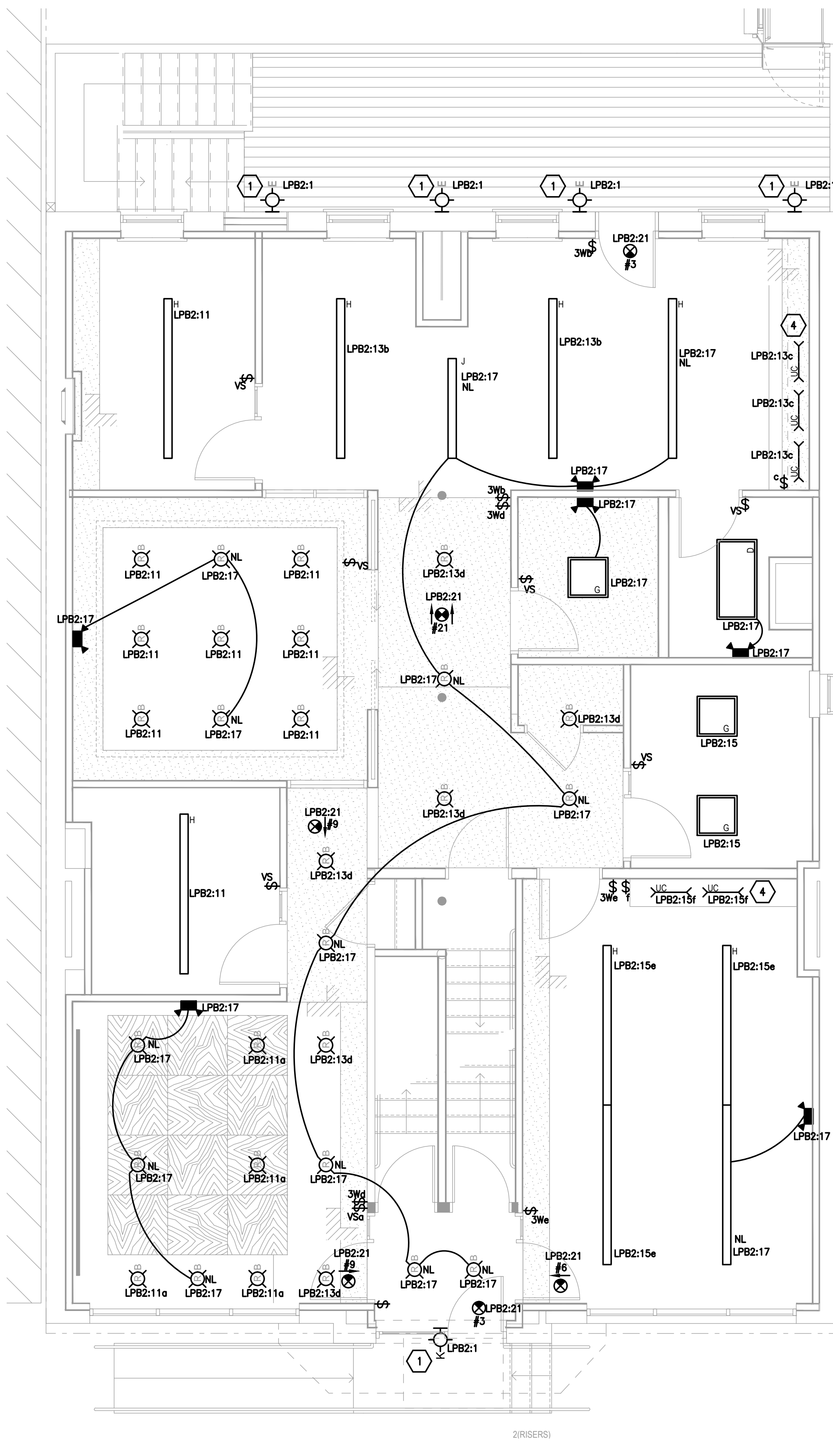
**ROOF PLAN**

**E-103**





**1 BASEMENT LIGHTING PLAN**  
E201 SCALE: 1/4"=1'-0" ELECTRICAL



**2 1ST FLOOR LIGHTING PLAN**  
E201 SCALE: 1/4"=1'-0" ELECTRICAL

**EMERGENCY LIGHTING SCHEDULE**

TYPE	CHICAGO NUMBER	MANUFACTURER	LAMPS	MOUNTING	VOLTAGE	REMARKS
1	PHOSOR II BM (CHICAGO)	PHILIP	7.5W	RECESSED	120	18 INCHES EXIT SIGN
2	3000 (CHICAGO)	SHUREITE	8C, 1.5W HOLDERS	WALL	120	

NOTES:  
1. ALL LIGHTING FIXTURES ABOVE SHALL BE CHICAGO APPROVED.

**EMERGENCY LIGHTING NOTES**

- ALL LIGHTING FIXTURES ABOVE SHALL BE CHICAGO APPROVED.
- BATTERY OPERATED EMERGENCY LIGHT FIXTURES SHALL BE WIRED ON THE SAME BRANCH CIRCUIT SERVING THE NORMAL ILLUMINATION IN THE AREA & CONNECTED AHEAD OF ANY LOCAL SWITCHES. PROVIDE LOCK-ON DEVICE AT PANEL.
- MAINTENANCE & TESTS SHALL BE AS BELOW PER SECTION 18.27.700.66(C)(7) OF CHICAGO CODE.
  - MAINTENANCE BY COMPETENT TECHNICIANS.
  - WATER LEVEL CHECK MONTHLY & UNIT TESTING ANNUALLY.
  - MANUFACTURER WILL FURNISH OPERATION & MAINTENANCE INSTRUCTIONS.
  - LOG CARD SHALL BE MOUNTED ON EACH UNIT.
- NIGHT LIGHT ON 24 HRS W/LOCK ON DEVICES ON THE C/B.
- BATTERY UNIT SHALL BE FED FROM THE LIGHTING CIRCUIT THAT ILLUMINATES THE AREA OF THE BATTERY UNIT.
- REFER TO SHEET E003 FOR CIRCUITING.

**GENERAL NOTES**

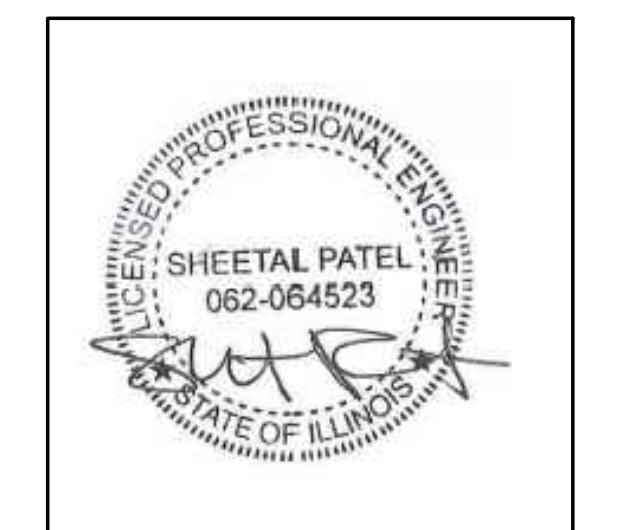
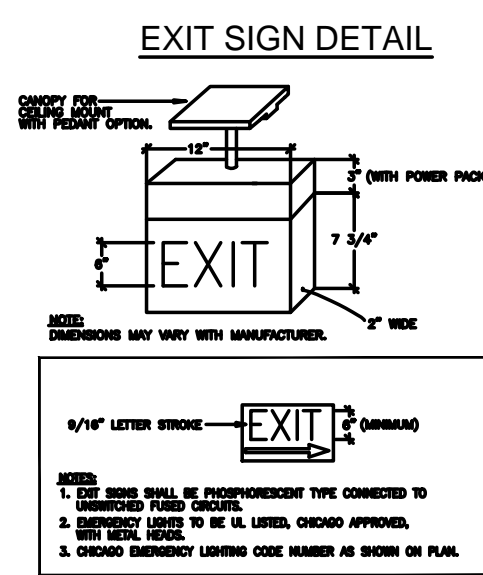
- ALL LIGHTING FIXTURES, RECEPTACLE OUTLETS, & OTHER DEVICES ON THIS PLAN SHALL BE WIRED FROM THE BUILDING PANEL 'LPB' UNLESS OTHERWISE NOTED.
- ALL OUTDOOR LIGHTING FIXTURES FED FROM THE HOUSE PANEL SHALL BE CONTROLLED BY PHOTOCELL. PHOTOCELL TO BE LOCATED ON THE ROOF. COORDINATE IN THE FIELD.
- ALL EXTERIOR FIXTURES TO BE FULL CUT OFF FIXTURES THAT DO NOT ALLOW LIGHT TO LEAVE THE SITE & THE MAXIMUM CANDELA VALUE OF ALL INTERIOR LIGHTING FALLS WITHIN THE BUILDING. ANY LUMINAIRE WITHIN A DISTANCE OF 2.5X ITS MOUNTING HEIGHT FROM THE PROPERTY BOUNDARY SHALL HAVE SHIELDING SO NO LIGHT FROM THAT LUMINAIRE CROSSES THE PROPERTY BOUNDARY.
- REFER TO SHEET E003 FOR CIRCUITING.
- REFER TO SHEET E001 FOR DEVICE MOUNTING HEIGHTS.

**PLAN NOTES**

- THIS LIGHT FIXTURE SHALL BE CONTROLLED BY PHOTOCELL. PROVIDE OVERRIDE SWITCH IN ELECTRICAL ROOM. COORDINATE EXACT LOCATION WITH ARCHITECTURAL DRAWINGS.
- NOT USED
- EMERGENCY LIGHT FIXTURE SHALL BE CIRCUITED TO LOCAL LIGHTING CIRCUIT AHEAD OF SWITCH.
- PROVIDE JUNCTION BOX CONDUIT AND WIRING FOR UNDER CABINET WIRING. COORDINATE EXACT MOUNTING WITH ARCHITECTURAL CABINET DETAILS.

**CHICAGO EXIT SIGN SYMBOL LIST**

SINGLE FACE	DOUBLE FACE
#1 FIRE ESCAPE	#14 DOUBLE FACE TRIANGLE
#2 STAIRWAY	#16 FIRE ESCAPE
#2A STAIR	#17 STAIRWAY
#3 EXIT	#17A STAIR
#4 FIRE ESCAPE	#18 EXIT
#5 STAIRWAY	#19 FIRE ESCAPE
#5A STAIR	#20 STAIRWAY
#6 EXIT	#20A STAIR
#7 FIRE ESCAPE	#21 EXIT
#8 STAIRWAY	#22 FIRE ESCAPE
#8A STAIR	#23 STAIRWAY
#9 EXIT	#23A STAIR
#10 FIRE ESCAPE	#24 EXIT
#11 STAIRWAY	
#11A STAIR	
#12 EXIT	



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ISSUED FOR REVIEW 06/05/2015  
ISSUED FOR PERMIT 06/20/2015



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**BASEMENT AND 1ST FLOOR LIGHTING PLANS**

**E-201**

